

# Public Document Pack

South and West Plans Panel

Thursday, 7<sup>th</sup> March 2024

PowerPoint Presentation

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# SOUTH & WEST PLANS PANEL

Thursday 7<sup>th</sup> March 2024

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# **APPLICATION: 23/06049/FU**

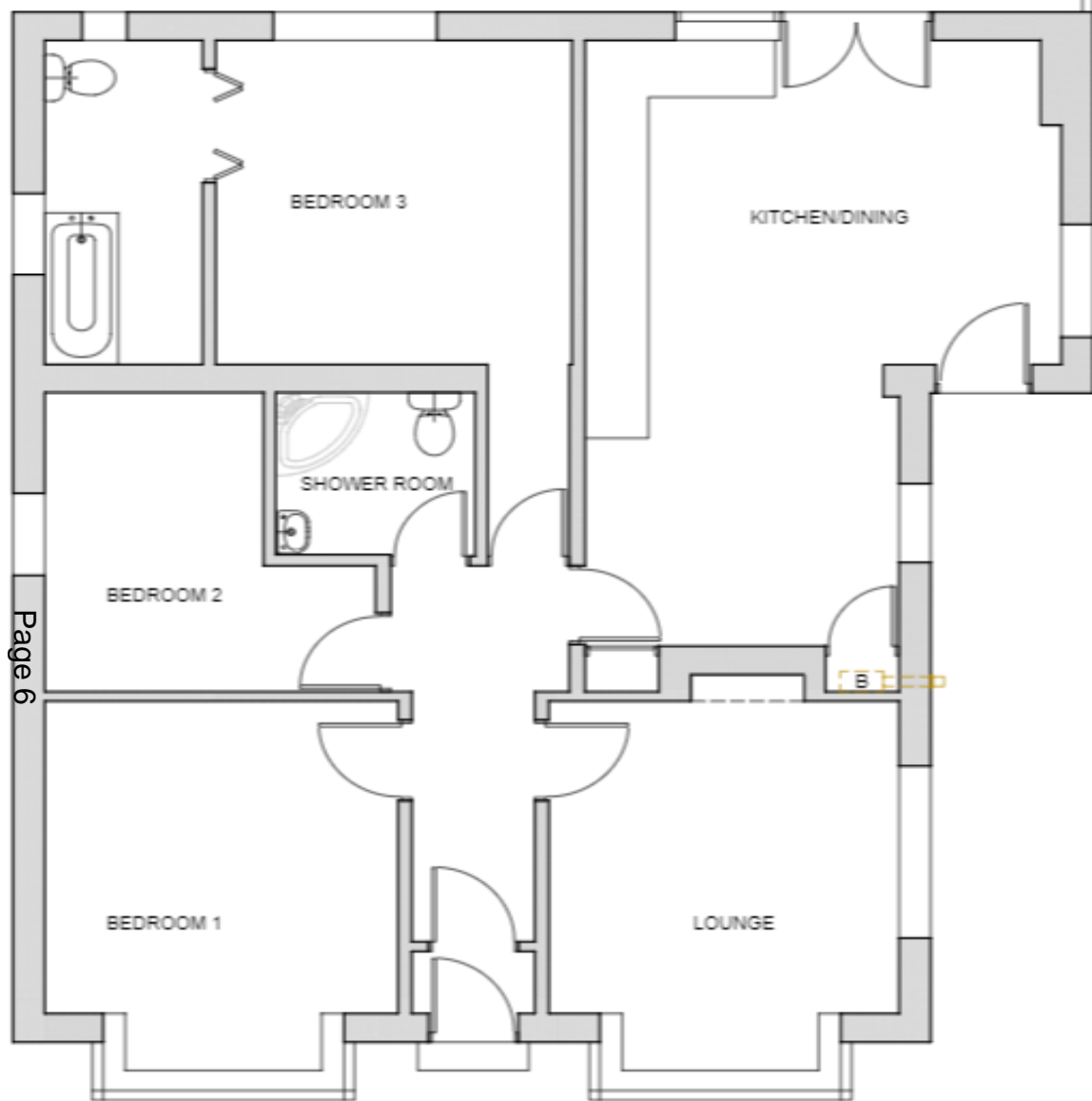
**PROPOSAL Change of use of dwellinghouse (C3)  
to residential care accommodation (C2) and  
erection of fence above existing boundary wall  
facing Mount Pleasant**

## **ADDRESS**

**28 Lingwell Avenue  
Middleton  
Leeds  
LS10 3SU**



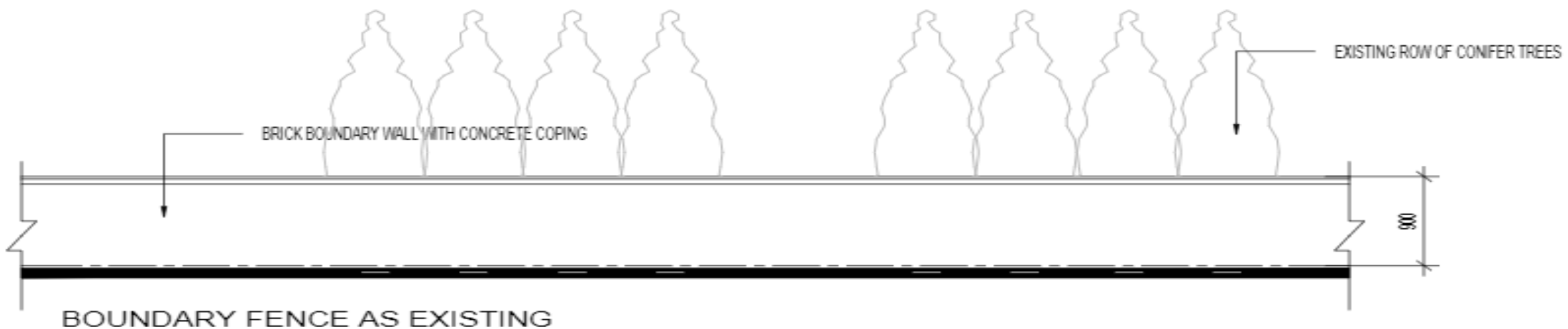




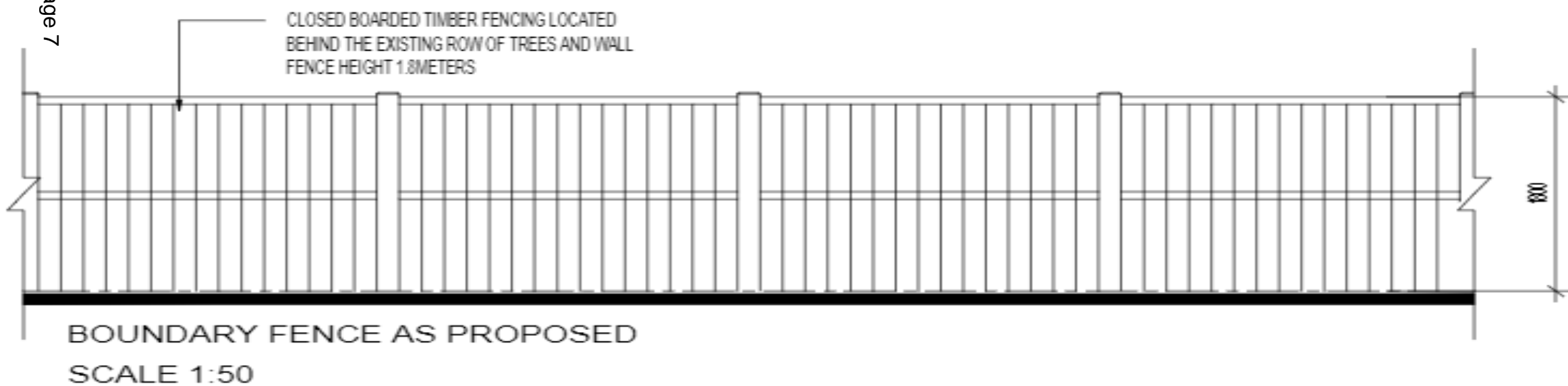
GROUND FLOOR  
AS EXISTING

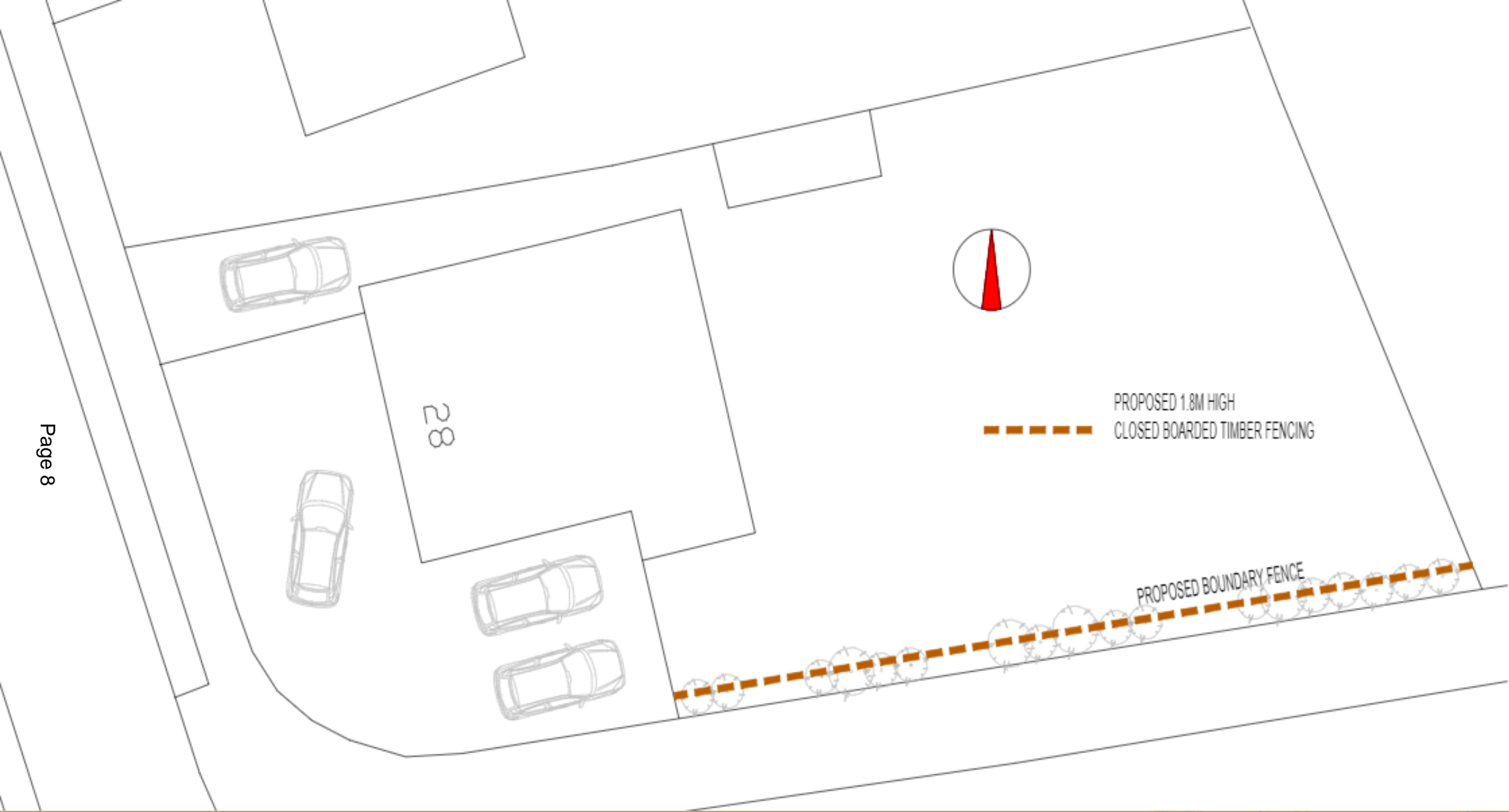


GROUND FLOOR  
AS PROPOSED



Page 7









Page 9













# **APPLICATION: 23/06050/FU**

**PROPOSAL Change of use of dwelling  
house (C3) to residential care  
accommodation (C2)**

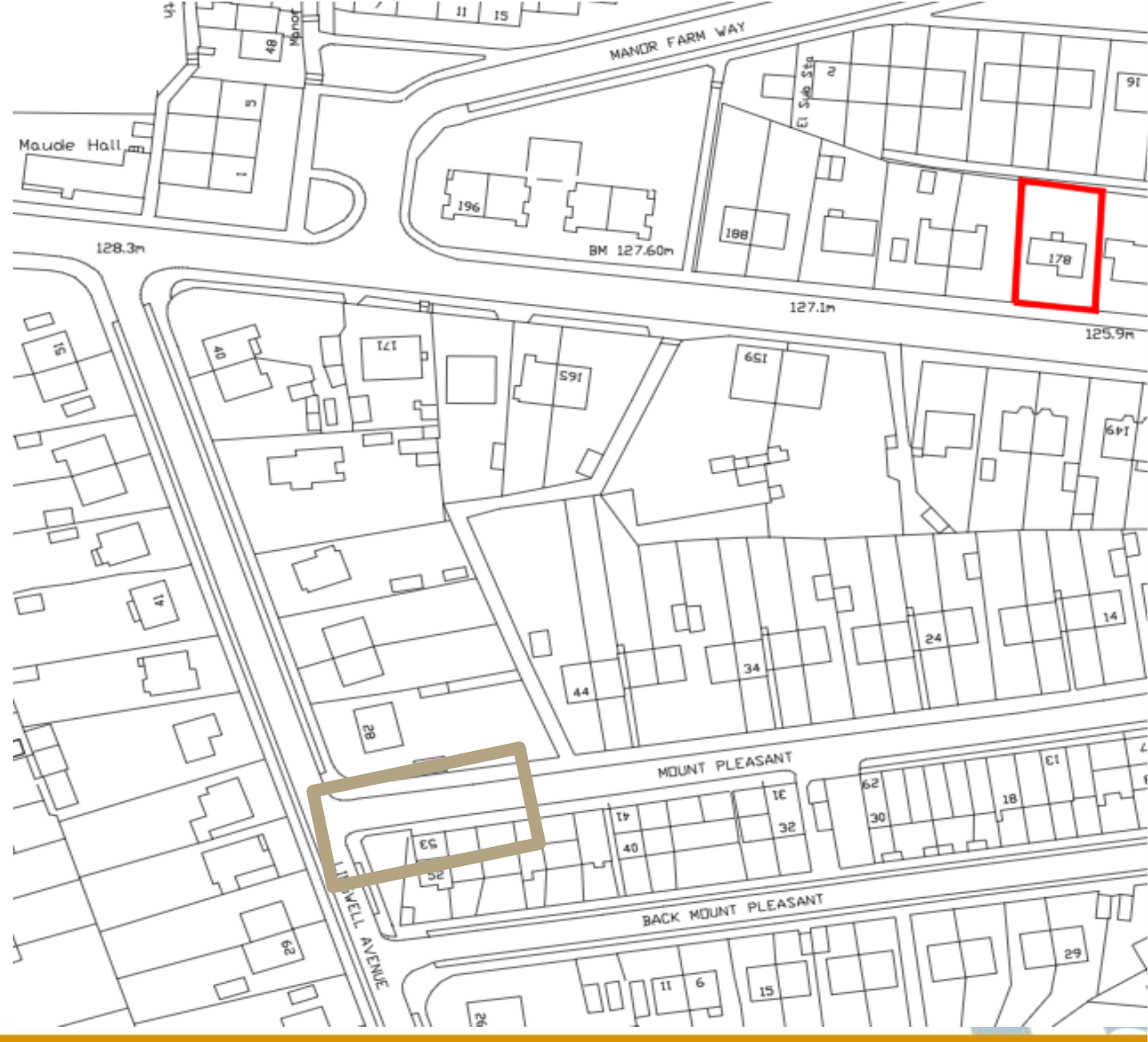
## **ADDRESS**

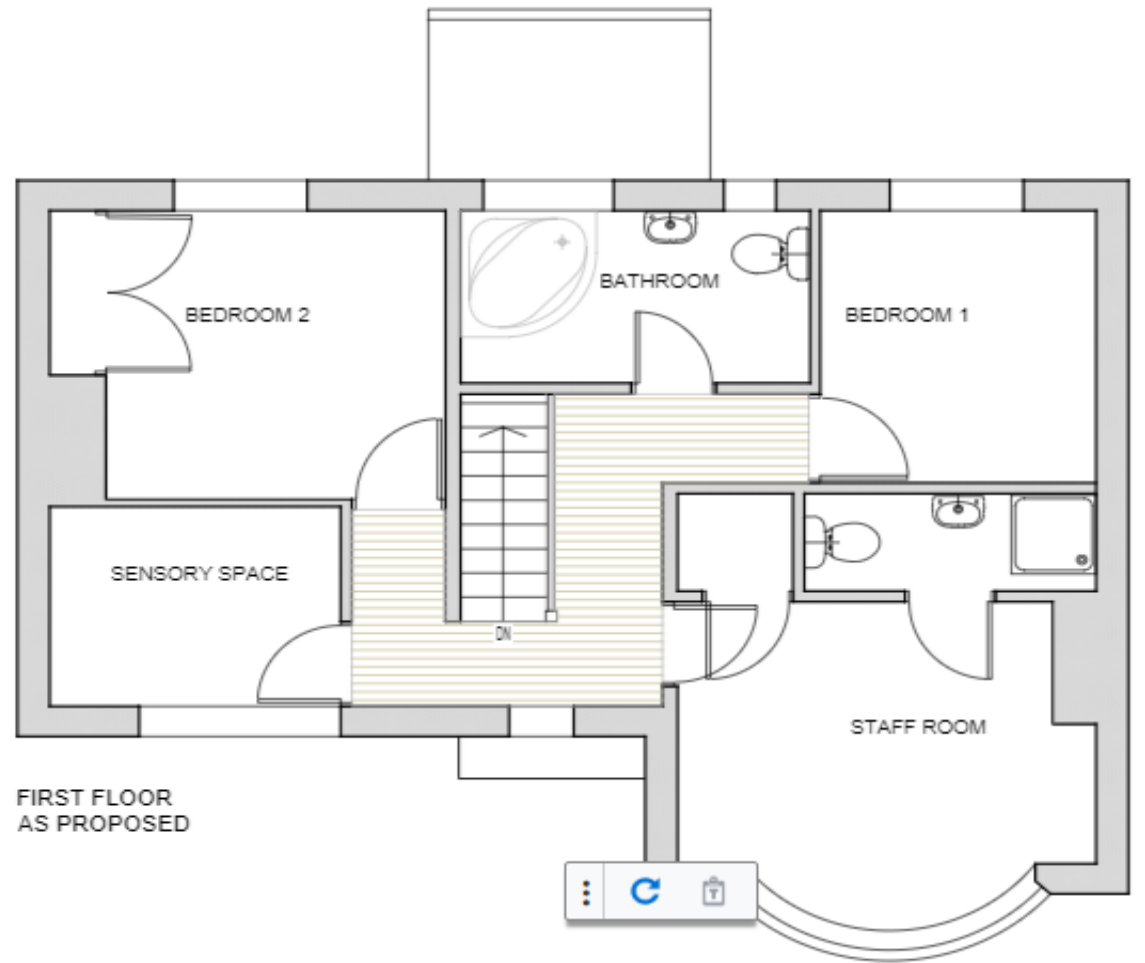
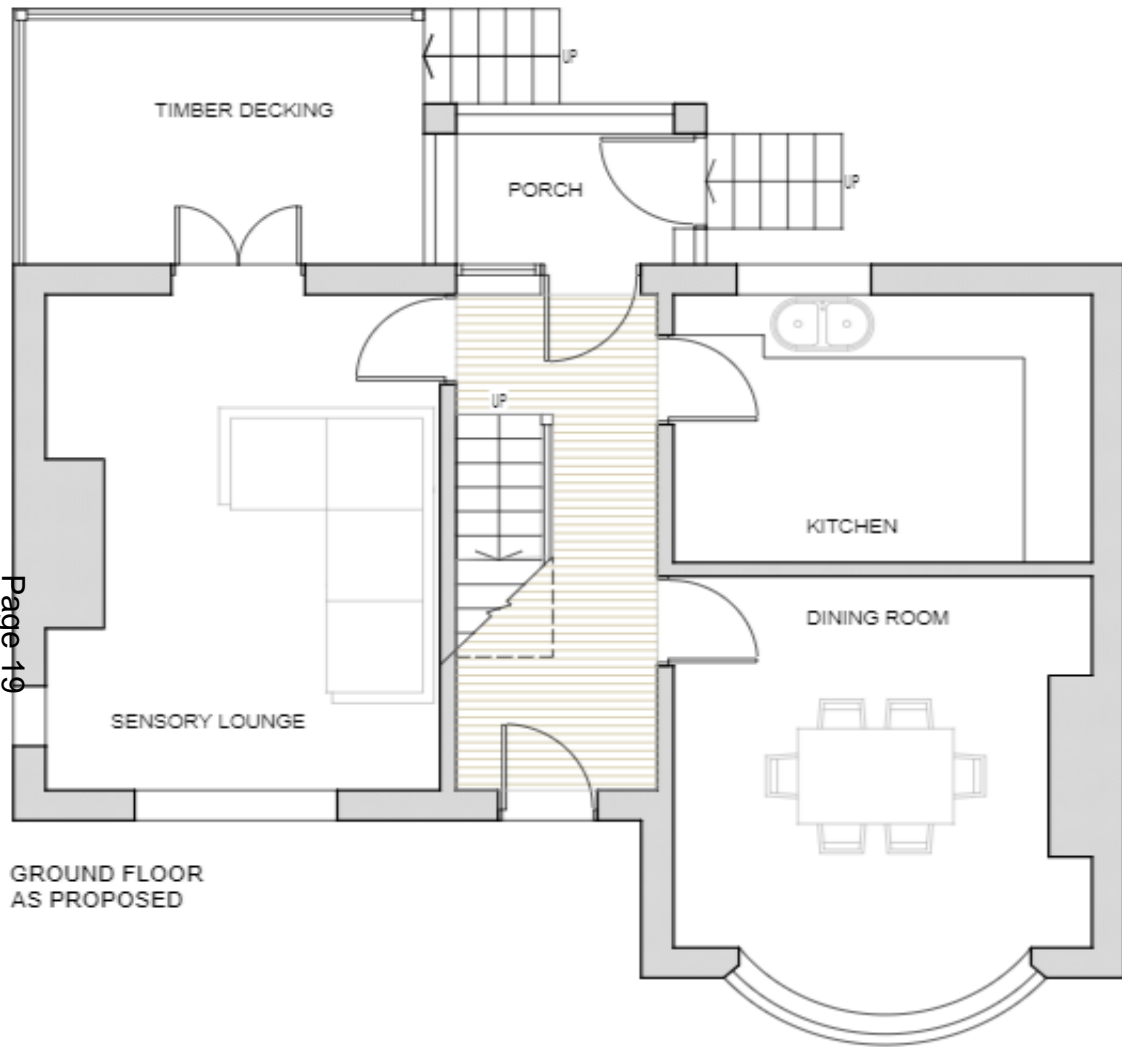
**178 Town Street  
Middleton  
Leeds  
LS10 3TH**

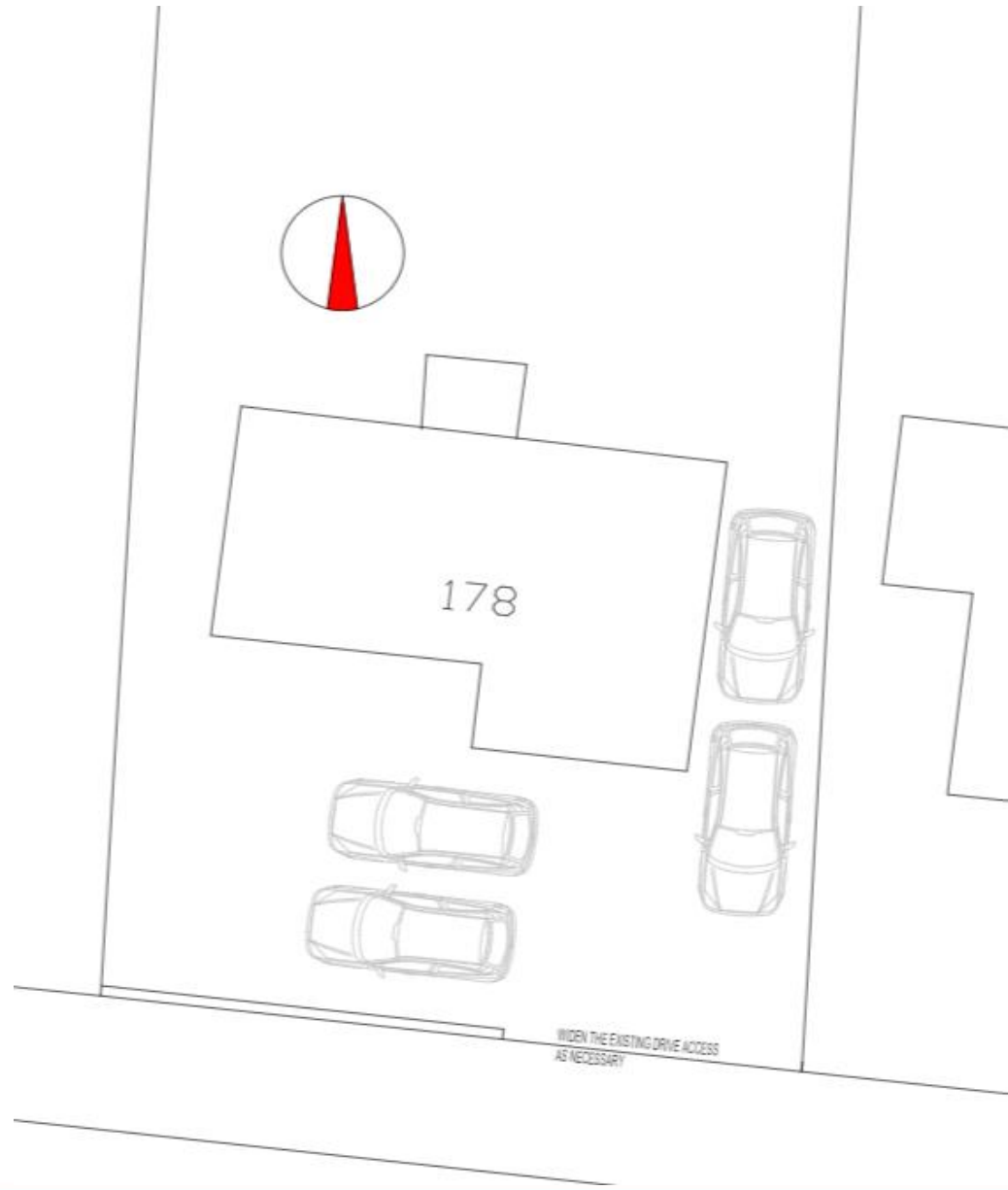


















# APPLICATION: 23/03322/FU

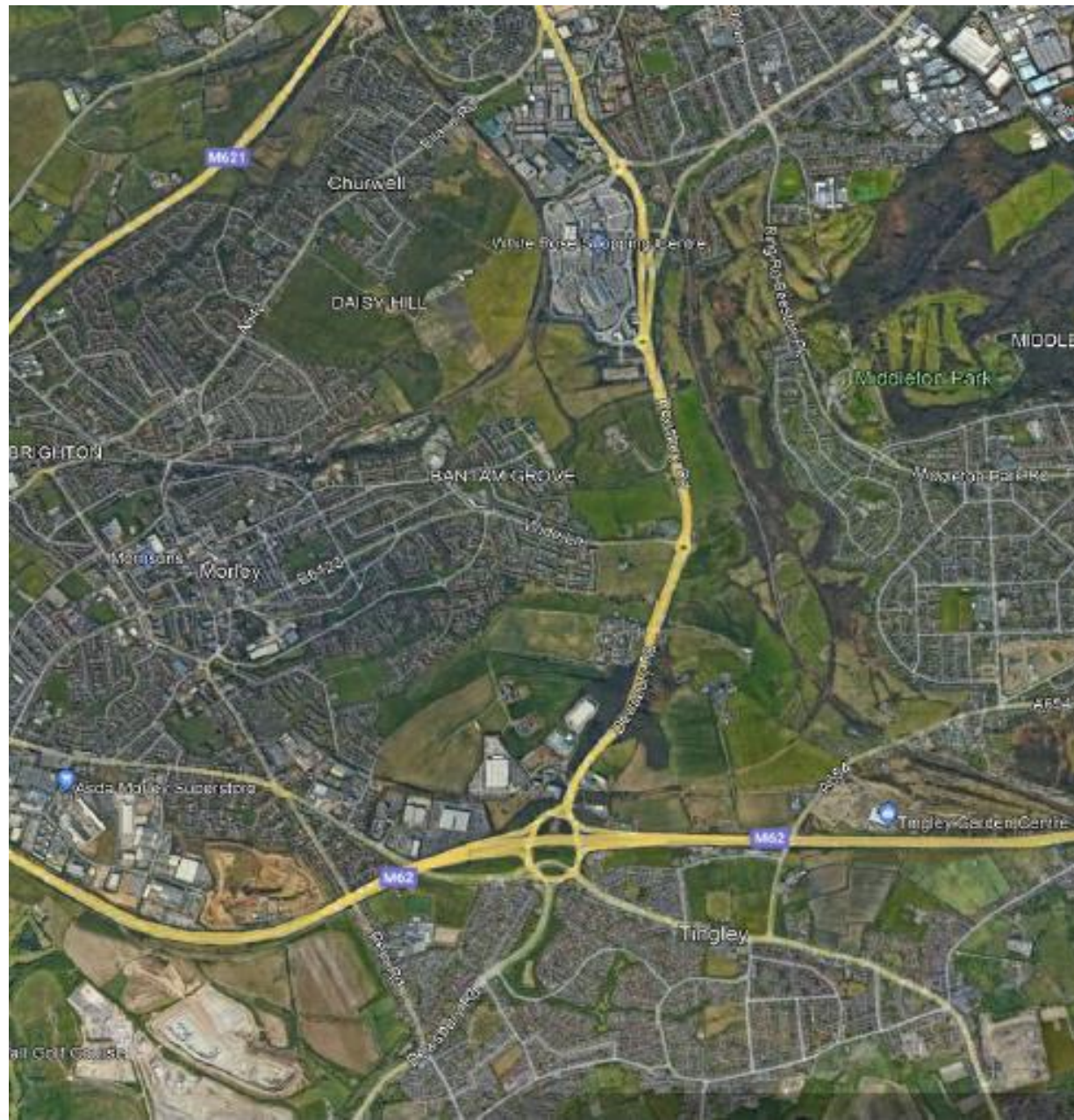
**PROPOSAL Electric vehicle charging facility  
(Sui Generis) and retail unit (Use Class E)  
with associated access, parking, servicing  
and landscaping areas**

## ADDRESS

**Former Site Of The White Bear  
Dewsbury Road  
Tingley  
WF3 1JY**

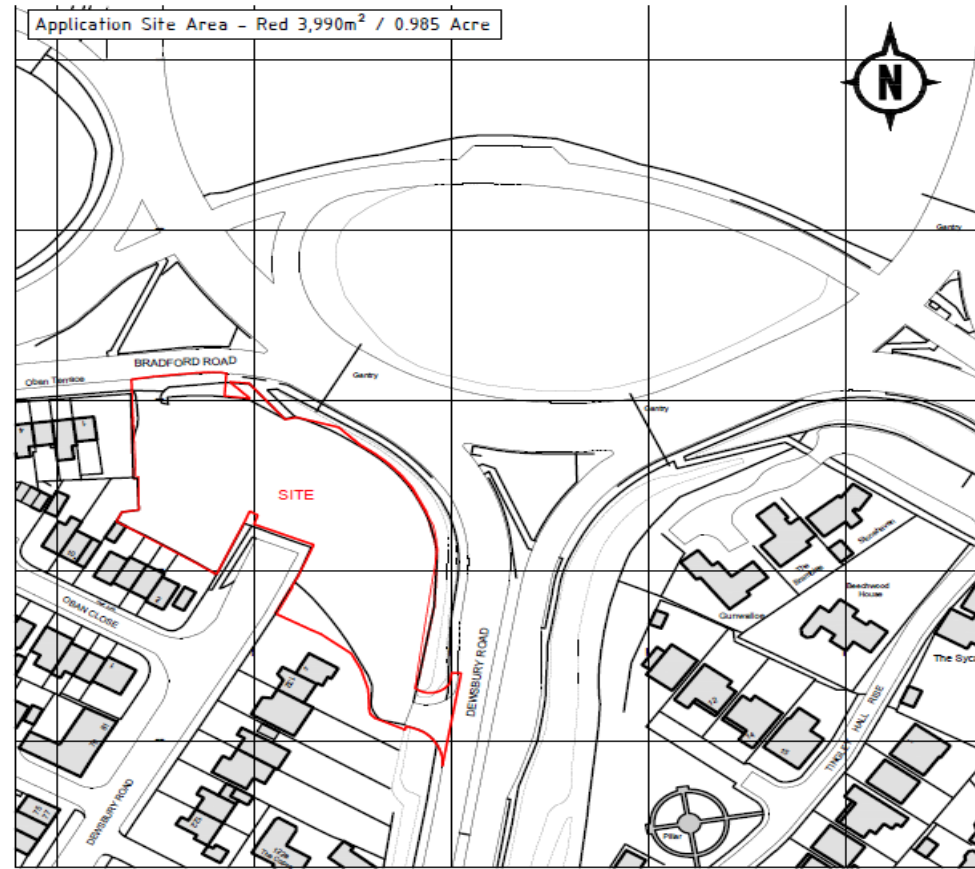












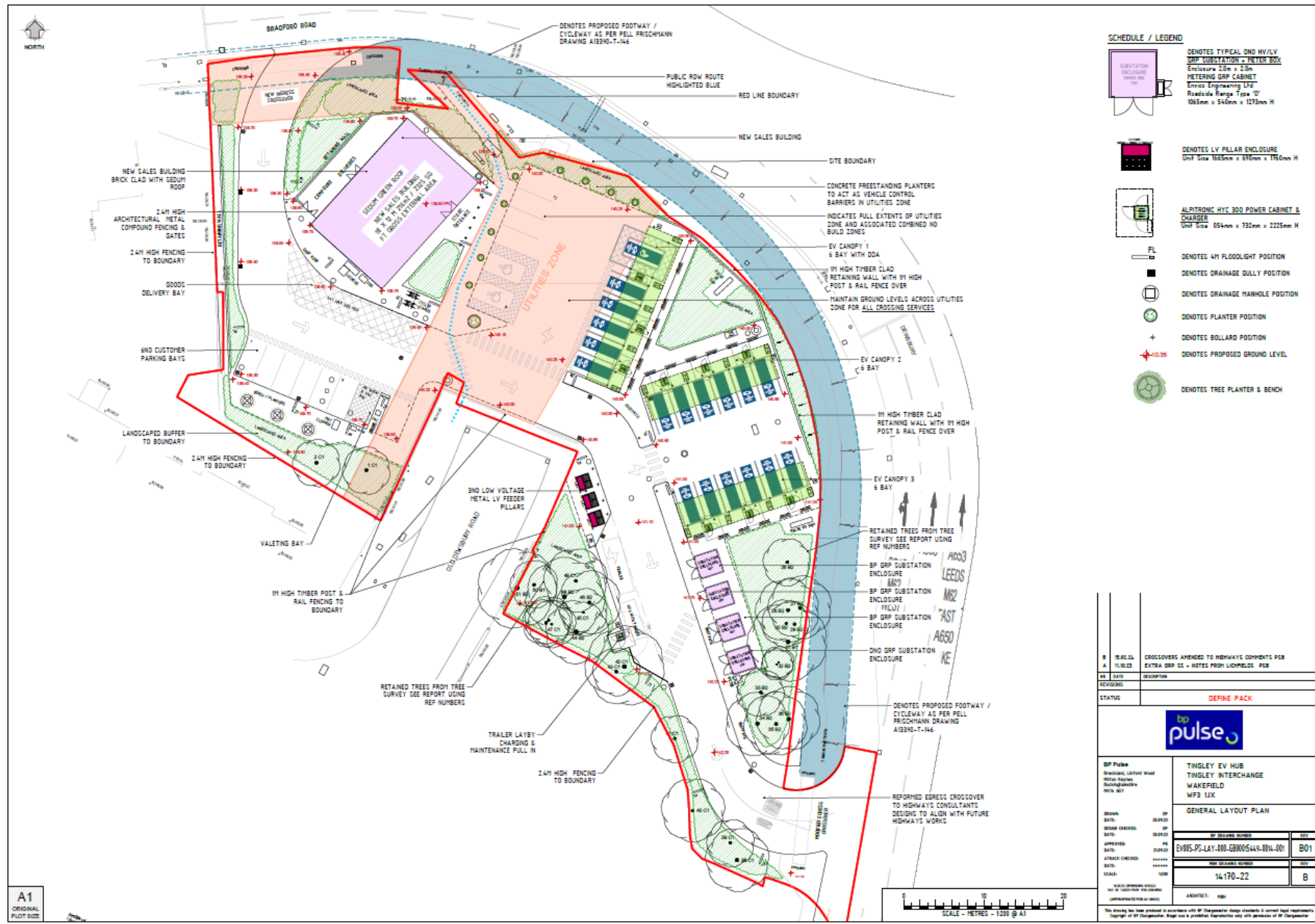
Ordnance Survey, (c) Crown Copyright 2022. All rights reserved. Licence number 100022432



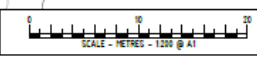
Tingley Interchange  
Bradford Road / Dewsbury Road  
Leeds  
WF3 1JX

### SITE LOCATION PLAN

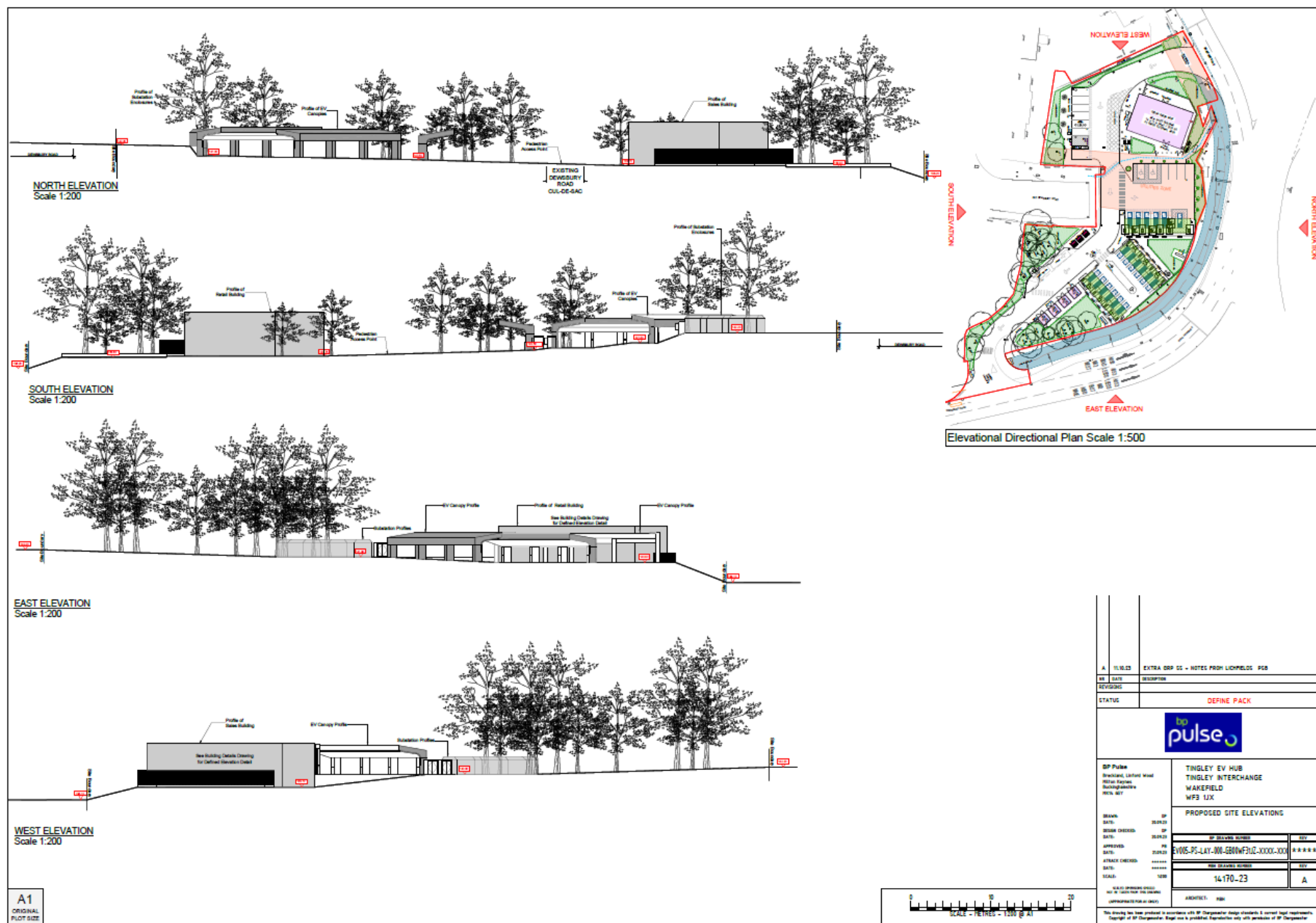
SCALE 1:1250 @ A4  
DATE March 2023  
DWG NO. 14170-0S REV A



A1 ORIGINAL PLOT SIZE



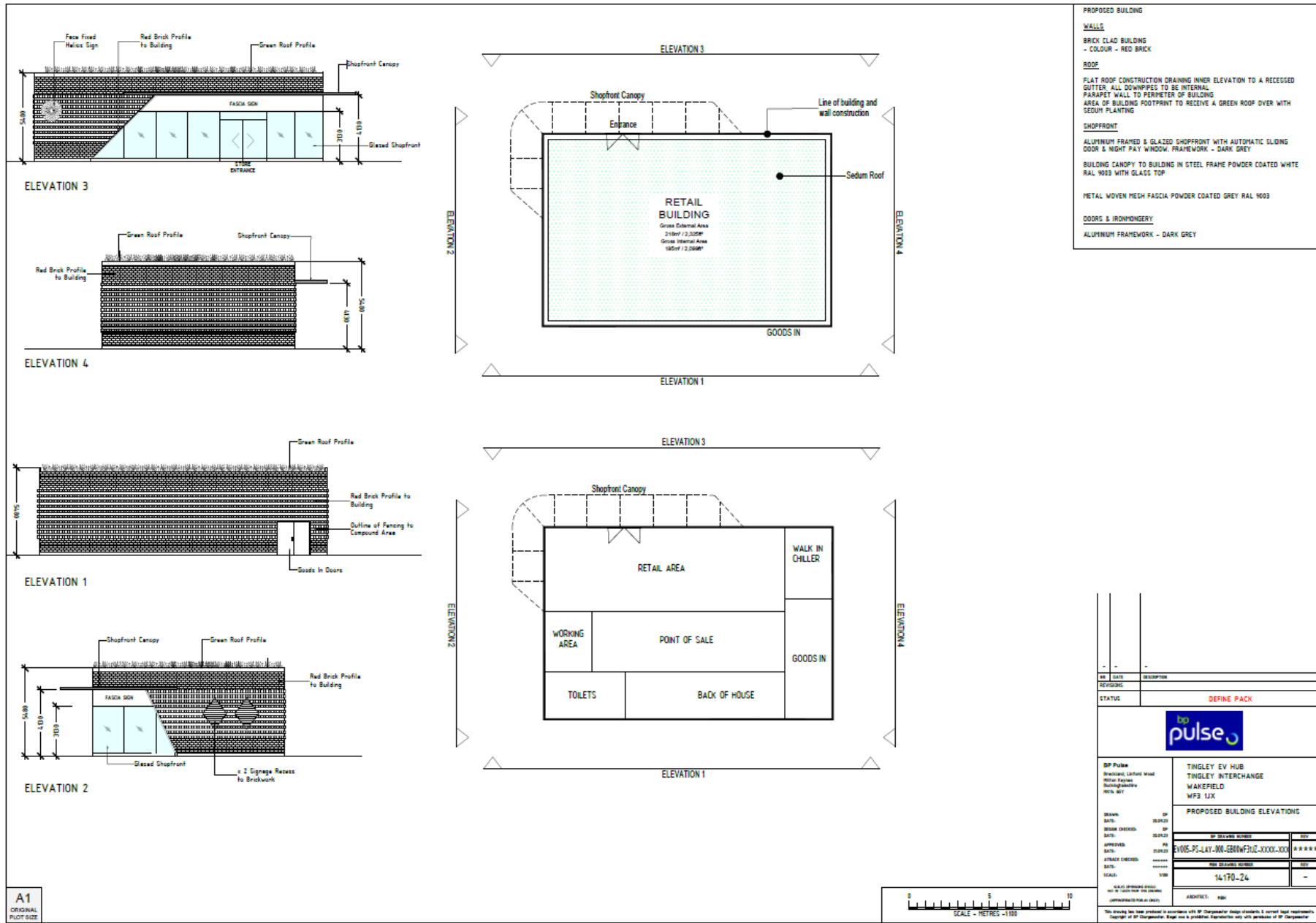
REV	DESCRIPTION
01	ISSUED
02	CROSSOVERS AMENDED TO HIGHWAY'S COMMENTS P10
03	EXTRA GRP DG - NOTES FROM LICHFIELD. P10
04	REVISED
05	REVISED
06	REVISED
07	REVISED
08	REVISED
09	REVISED
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99	REVISED
100	REVISED



A1  
ORIGINAL  
PLOT SIZE



A	01/15/23	EXTRA DRP 02 - NOTES FROM LIDHELD'S PGS						
NO.	DATE	DESCRIPTION						
REVISIONS								
STATUS: DEFINE PACK								
<b>BP Pulse</b> Bringing Light and Heat to Leeds Rothwell Road Leeds, WF3 1JX		<b>TINGLEY EV HUB TINGLEY INTERCHANGE WAKEFIELD WF3 1JX</b>						
PROPOSED SITE ELEVATIONS								
DESIGN	BP							
DATE	20/03/23							
DESIGN CHECKED	BP							
DATE	20/03/23							
APPROVED	PA							
DATE	20/03/23							
ATTACK CHECKED	*****							
DATE	*****							
SCALE	1:500							
<small>NOT TO BE USED WITHOUT THE SIGNATURE AND APPROVAL OF THE DESIGNER</small> <small>APPROVED FOR IN PRINCIPLE</small>		<table border="1"> <tr> <td>BP DESIGN NUMBER</td> <td>WF</td> </tr> <tr> <td>PROJECT</td> <td>14-170-23</td> </tr> <tr> <td>REV</td> <td>A</td> </tr> </table>	BP DESIGN NUMBER	WF	PROJECT	14-170-23	REV	A
BP DESIGN NUMBER	WF							
PROJECT	14-170-23							
REV	A							
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# STANDARD TREE PLANTING SPEC

1. Supply an extra heavy standard tree (14-16cm girth), with a clear stem up to 1.8m from ground level with a head of branches. Tree should be root-balled, wrapped in hessian with an out wrapping of ungalvanized wire mesh or container grown.

2. Prepare a tree pit in a grass verge (other planting surfaces are acceptable, but the payment rate is fixed) – e.g. 1m x 1m x 1m depth. Fork over base of pit to facilitate drainage.

3. Install tree, ensuring that soil mark at base of tree is level with the finished surface.

4. Fit twin stakes (1800mm x 100mm peeled larch) each approx. 300mm from tree.

5. Fit a cross beam (25mm x 100mm treated) approx. 400 mm above ground level.

6. Use hessian tree tie to secure tree to crossbeam. Ensure tie is knotted between tree and crossbeam to prevent chafing.

7. Fit a Mona MR3 irrigation tube around root-ball, ensuring that plastic inlet cap is slightly proud of finished surface.

8. Backfill planting pit (break up soil as you backfill), ensuring that the soil mark at the base of the trunk is level with the finished soil surface.

9. Add 50mm of coarse bark/wood chip across surface to a diameter of 1m with tree at the centre. Ensure that bark/wood chip is pulled back from the base of the trunk.

### Three Years Establishment Management and Aftercare

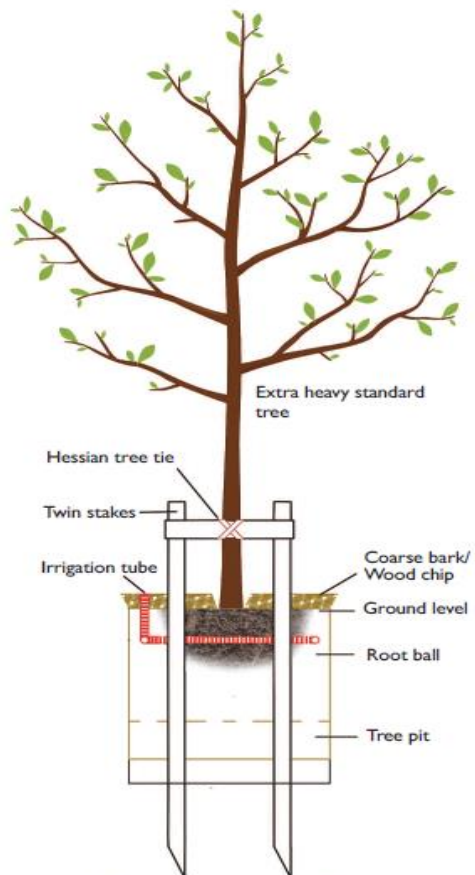
10. Irrigation and general maintenance: 60 litres of water per tree per visit between April and September:

Year 1: Fortnightly – 12 Visits in total

Year 2: Every three weeks – 8 Visits in total

Year 3: Monthly – 6 Visits in total

**26 visits per tree in total**









1970's



1990's







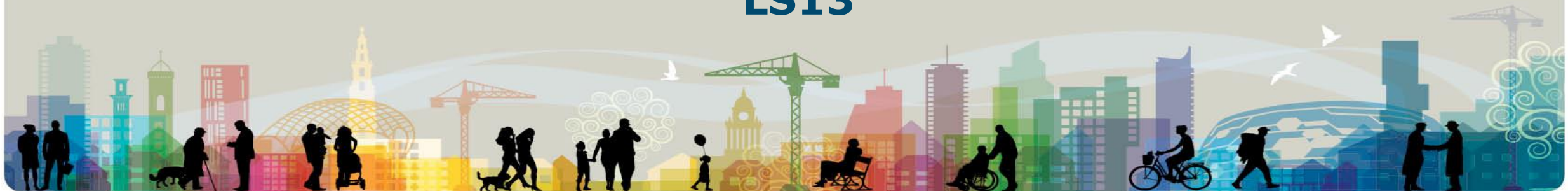




**APPLICATION: 23/06663/FU**  
**PROPOSAL Erection of 82 affordable dwellings and associated open space and infrastructure**

**ADDRESS**

**Former Hough Side High School Site  
Hough Top  
Swinnow  
LS13**







Google Existing Site Plan





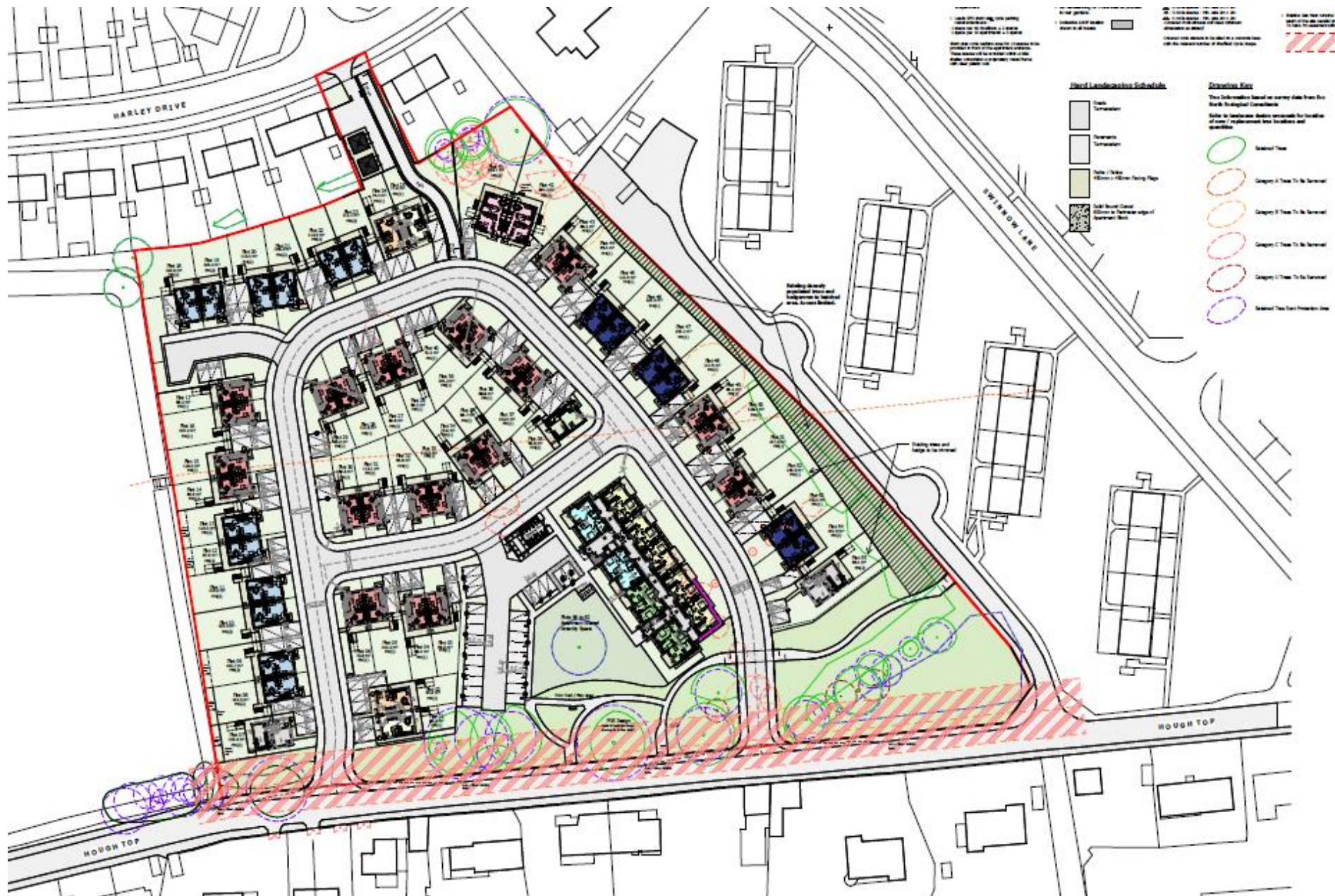




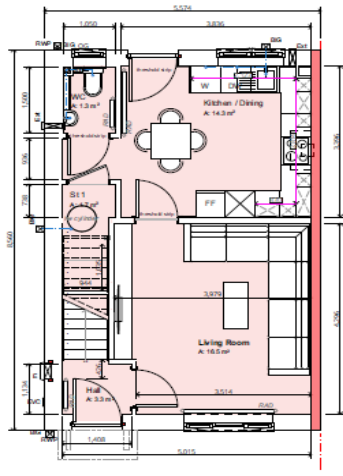




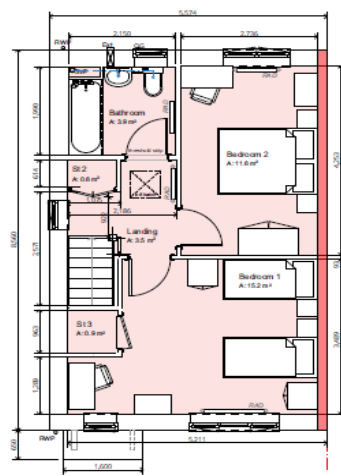




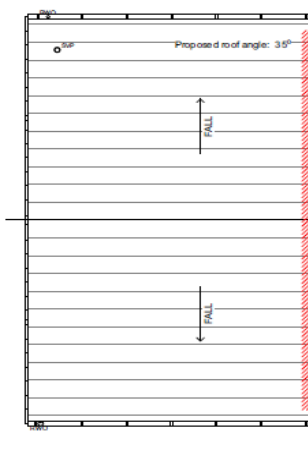




GROUND FLOOR PLAN



FIRST FLOOR PLAN



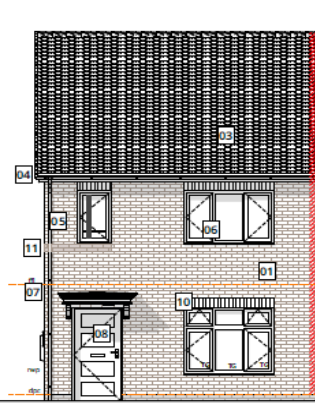
ROOF PLAN

**Note:**  
Do not scale off this drawing. Do not rely on this drawing for purposes other than to obtain. Constructors must be familiar with the client building standards register ahead of the issuing any work contract or this drawing. Deal in drawing with all other associated drawings in written specifications. If you feel a specific call out is insufficient for your purpose please contact L&P for further information prior to continuing with the work. You are responsible for checking that you possess the latest approved drawing revision. Allow enough time for the design, planning and construction work to be undertaken properly. If you employ a contractor all but finished, the client must appear in writing to the principal designer and a project contractor. Deal and form letter yourself with all CDM Designer's Risk Management Assessments.

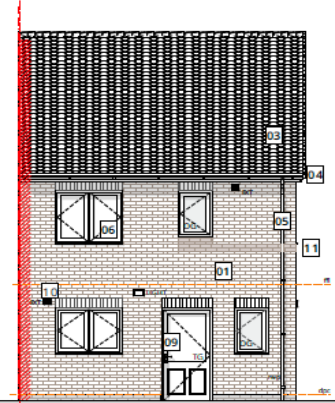
**NOTE:** White goods symbols are indicative. All white goods & furniture to be provided by property tenants.

- 10mm the girth between top of wall and underside of floor dressed between wall and adjacent truss in a single lot to provide the seal to achieve D0 within the workspace between dwellings (BS555)
- 30mm separation to be achieved and maintained
- 30mm separation to be achieved and maintained

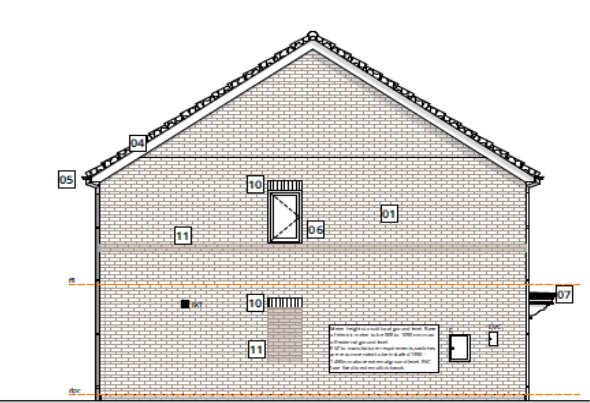
**NOTE:** Count of mineral wool in magnetic dense and used length of workshop in 300mm / 1000mm. All measured to the centre line of the workshop as indicated. (Emp. spec. 10kg/m³ volume - 2,100mm)



FRONT ELEVATION



REAR ELEVATION



GABLE ELEVATION

Table with 2 columns: GIA Measured, GIA GR, GIA FF, NDIS Store Requirement, Store Measured.

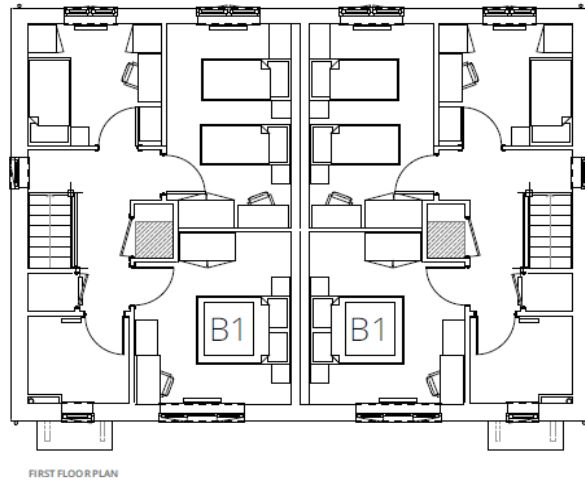
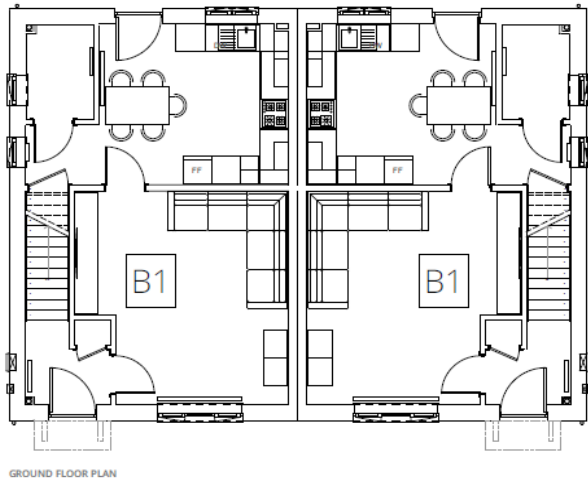
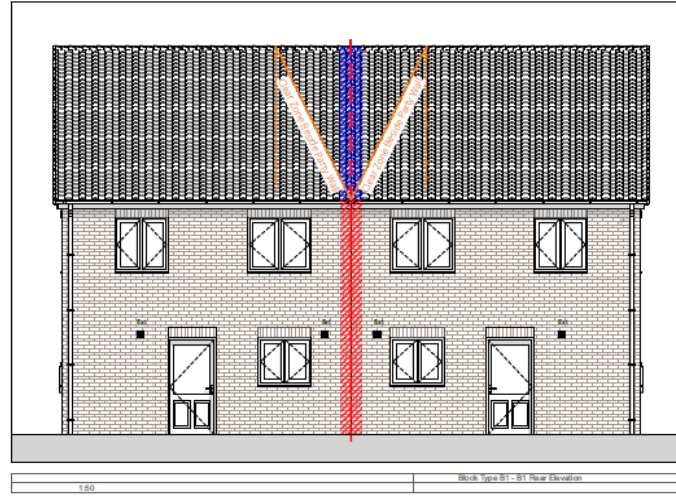
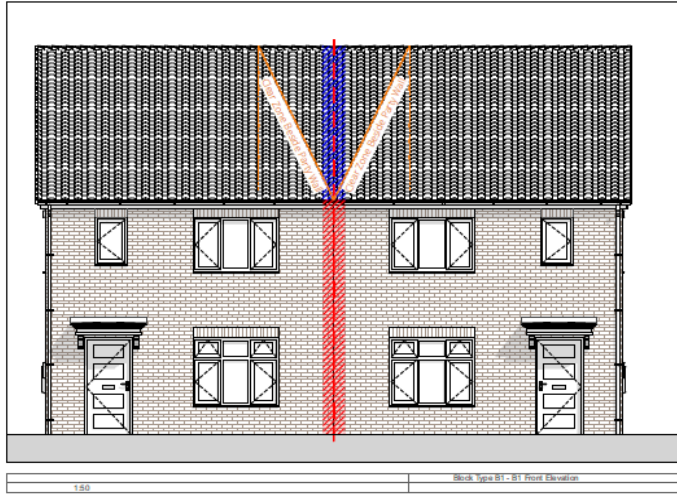
**GIA NDIS Requirement:** 79m²  
**GIA Measured:** 79.3 m² 853.58 sqft  
**GIA GR:** 39.7m² 427.33 sqft  
**GIA FF:** 39.5m² 425.17 sqft  
**NDIS Store Requirement:** 2.0m²  
**Store Measured:** 2.5m²



**Materials:**  
 01: External Walls: Red multi brick finish - colour TBA and to match adjacent existing properties.  
 03: Roof: Interlocking concrete roof tiles, colour to match adjacent existing properties.  
 04: Eaves Soffit / Fascia: Dark Gray UPVC  
 05: Rainwater goods: Black UPVC.  
 06: Windows: Double glazed UPVC - RAL TBA

07: Canopy: GRP flat roof  
 08: Front Door: Through coloured GRP composite PAS 24 doorset, colour TBA  
 09: Rear Door: Through coloured GRP composite PAS 24 doorset, colour TBA  
 10: Window Heads: Soldier course detail, brick to match main elevation etc.  
 11: Band Course / Dummy Window Opening: Contrasting brick - colour TBA

Type  
 Head  
 Sto  
 Area  
 Acco





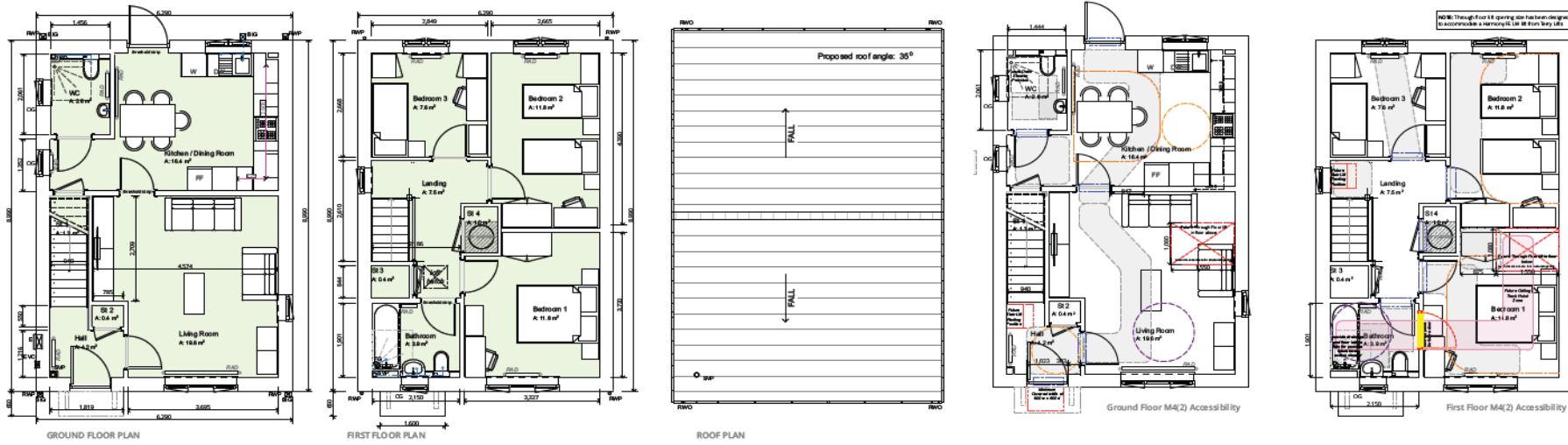
BLOCK TYPE: HT B1-B1	
Key:	
	100mm fire gap between top of the wall and underside of B1, decked between wall and adjacent track in a single bay to provide the wall.
	Full B1 cavity fire barrier (B100) set out (B100) over top both party wall (based by min of 50mm).

1	2020-07-16	Drawing number updated to match page 02000 section Plan
1	2020-07-16	Revit and other block models updated
1	2020-07-16	Updated client email, space and sign-off. With slight detail to allow. With sign-off with note.
1	2020-07-16	Drawing number updated



Client: <b>Leeds City Council</b>	Design No: <b>HT B1-B1 Block Plan</b>
Partner: <b>Halsall Lloyd Partnership</b>	Project: <b>HT B1-B1 Block Plan</b>
Address: <b>98 Duke Street</b>	Client: <b>Hough Top Purvey Leads</b>
Location: <b>L1 5AG</b>	Contractor: <b>Willmott Dixon Construction Limited</b>
Project No: <b>01</b>	Issue No: <b>001</b>
Project Ref: <b>0101 208-8344</b>	Issue Date: <b>21st July 2023</b>
Issue: <b>01</b>	Issue By: <b>01 - Review &amp; Comment</b>
Website: <b>www.hlpdesign.com</b>	Project Ref: <b>HOUG-HLP-B1-22-ORA-3101-P05</b>





Note:  
Do not scale off this drawing. Do not rely on this drawing for purposes other than its stated.  
Contractor must be familiar with the details building substance together ahead of building any work  
contained on this drawing. Read this drawing with all other associated drawings and specifications.  
If you believe any specification is insufficient for your purposes please contact us for further  
information prior to commencing with the work.  
You are responsible for the design that you produce the latest approved drawing make on.  
Allow enough time for the design, planning and construction work to be undertaken properly.  
If more than one contractor will be involved, the lead must support (working) principal designer  
and a principal contractor.

Read and familiar yourself with all CAD Designer's Abbreviation Acronyms.

NOTE: White goods symbols are indicative. All white goods are to be provided by property tenants.

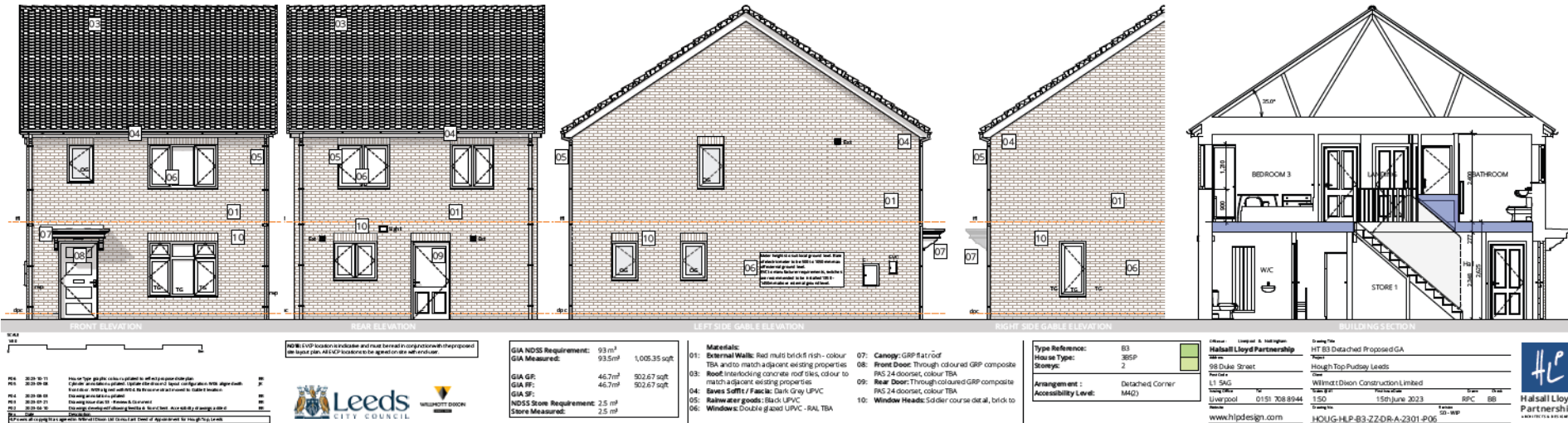
Thin separation to be achieved and maintained

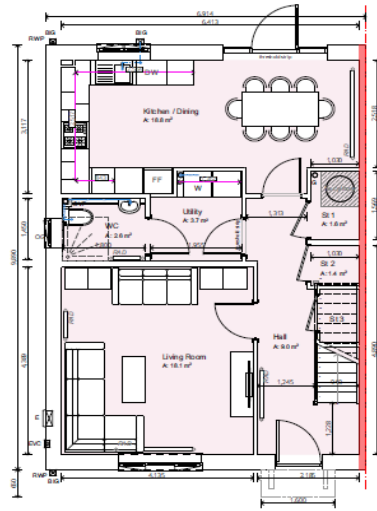
NOTE: Given dimensions in brackets denote calculated length of window in (Bath/WC) Lobby Area. All rooms and to the centre line otherwise as indicated. Drop-down Requirement: 2100mm

Key:  
750mm clear route or clear landing  
750mm clear door width  
750mm clear bed space

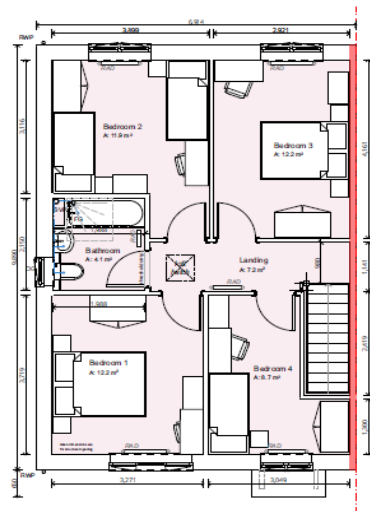
300x1200mm leading rib  
1200mm dia turning circle  
1500mm dia turning circle

Future ceiling tracking hoist position  
Future knock out panel position  
Knock out panel for future through-floor lift

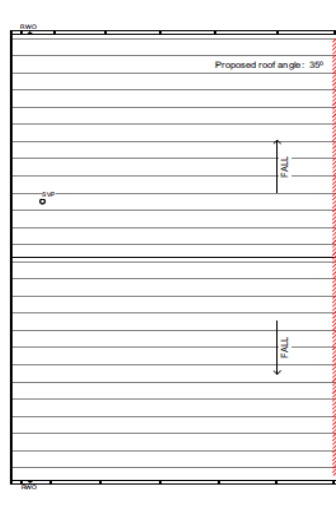




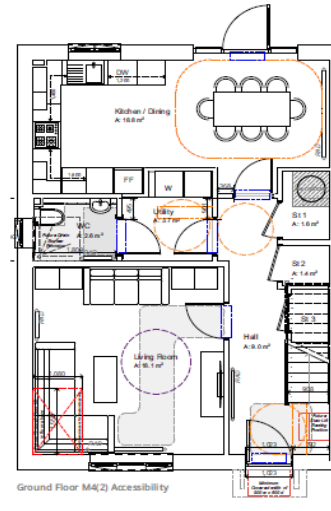
GROUND FLOOR PLAN



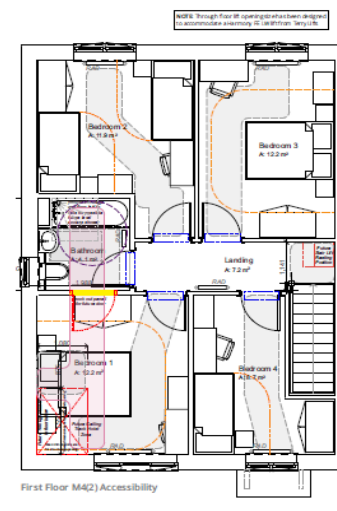
FIRST FLOOR PLAN



ROOF PLAN



Ground Floor M4(2) Accessibility



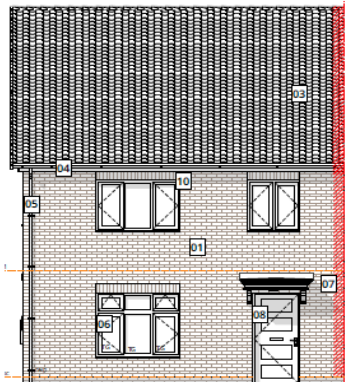
First Floor M4(2) Accessibility

Note: Do not scale off this drawing. Do not rely on this drawing for purposes other than to obtain... Construction must be built in accordance with the approved drawings...

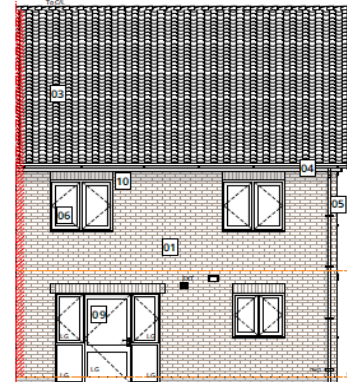
NOTE: White goods symbols are indicative. All white goods are to be provided by property tenants.

- 30mm clear between top of wall and underside of roof... 30mm separation to be achieved and maintained... 30mm clear between top of wall and underside of roof...

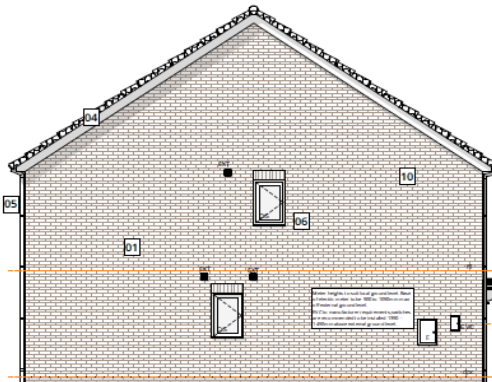
Key: 750mm clear route or clear landing, 750mm clear door width, 750mm clear bed space, 300x1200mm landing nib, 1200mm dia. turning circle, 1500mm dia. turning circle, Future ceiling tracking hoist position, Future knock out panel position, Knock out panel for future through-floor lift.



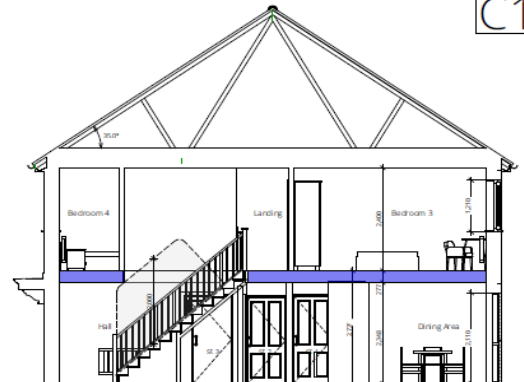
FRONT ELEVATION



REAR ELEVATION



LEFT GABLE ELEVATION



BUILDING SECTION

C1

Table with 4 columns: Ref, Description, Date, and Status. Includes entries for drawings and revisions.

NOTE: DVP location is outside and must be made compatible with the proposed... All DVP locations to be agreed on the site plan.



Table with 2 columns: Requirement and Value. Includes GIA, NDS, and Store requirements.

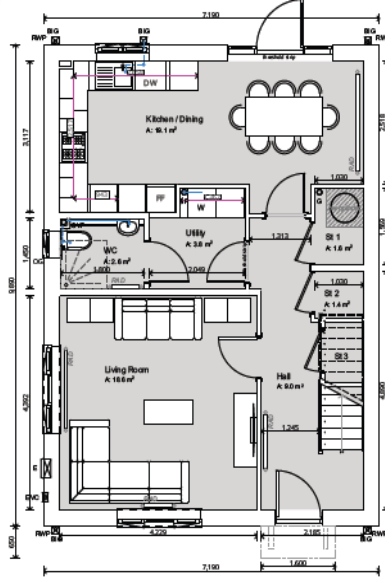
- Materials: External Walls - Red multi brick brick - colour TBA... 01: External Walls - Red multi brick brick - colour TBA... 02: Windows - Double glazed UPVC - RAL TBA...

Table with 2 columns: Reference and Value. Includes House Type, Arrangement, and Accessibility Level.

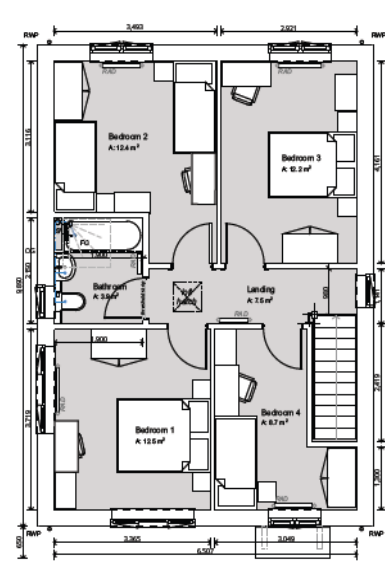
Table with 2 columns: Reference and Value. Includes House Type, Arrangement, and Accessibility Level.

Table with 2 columns: Reference and Value. Includes House Type, Arrangement, and Accessibility Level.

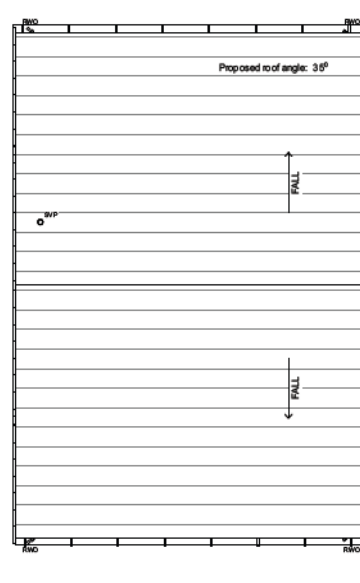




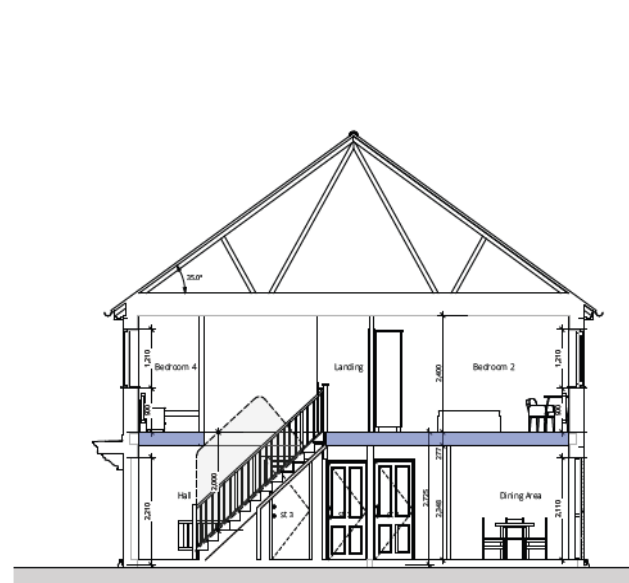
GROUND FLOOR PLAN



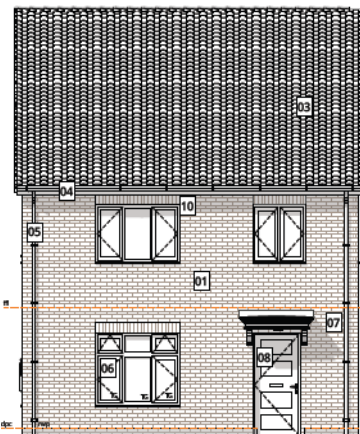
FIRST FLOOR PLAN



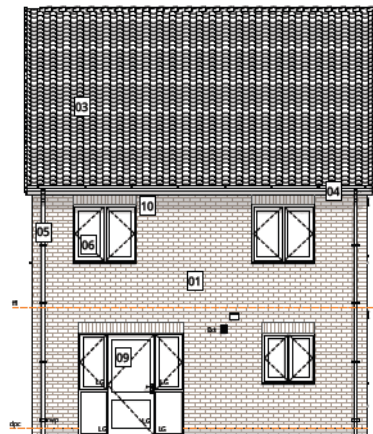
ROOF PLAN



SECTION 1



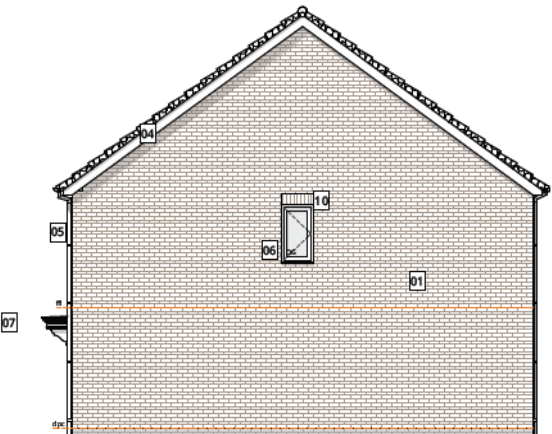
FRONT ELEVATION



REAR ELEVATION



LEFT GABLE ELEVATION



RIGHT GABLE ELEVATION

NO: EUCP location indicate and must be read in conjunction with the proposed site layout plan. All EUCP location to be agreed on site with the owner.

NO	DATE	DESCRIPTION
001	2023-10-16	On the site plan and the location of the proposed EUCP.
002	2023-10-16	On the site plan and the location of the proposed EUCP.
003	2023-10-16	On the site plan and the location of the proposed EUCP.
004	2023-10-16	On the site plan and the location of the proposed EUCP.
005	2023-10-16	On the site plan and the location of the proposed EUCP.
006	2023-10-16	On the site plan and the location of the proposed EUCP.
007	2023-10-16	On the site plan and the location of the proposed EUCP.



GIA NDS Requirement:	115 m²
GIA Measured:	118 m²
GIA GP:	59 m²
GIA RP:	59 m²
GIA SF:	59 m²
NDS Score Requirement:	3m²
Score Measured:	3.4m²

- Materials:**
- 01: External Walls: Red multi brick rich - colour
  - 02: TBA and to match adjacent existing properties
  - 03: Roof: Insulating concrete roof tiles, colour to match adjacent existing properties
  - 04: Saves Soffit / Fascia: Dark Gray UPVC
  - 05: Rainwater goods: Black UPVC
  - 06: Windows: Double glazed UPVC - RAL TBA
  - 07: Canopy: GRP flat roof
  - 08: Front Door: Through coloured GRP composite RAS 24 doorset, colour TBA
  - 09: Rear Door: Through coloured GRP composite RAS 24 doorset, colour TBA
  - 10: Window Heads: Sillier course detail, brick to

Type Reference:	C2
House Type:	4B7P
Storeys:	2
Arrangement:	Detached - Corner Turn
Accessibility Level:	M4D

Client:	Leeds & Halesail
Project Name:	Halesail Lloyd Partnership
Address:	98 Duke Street
Postcode:	L1 5AG
Contract No.:	1550
Contract Date:	14th June 2023
Contract Value:	£150,000
Contract Status:	SPC - 008
Contract Reference:	HOUG-HP-C2-ZZ-DB-A-2501-P07





Road Frontage / Front Elevation  
1 : 100



Courtyard / Rear Elevation  
1 : 100

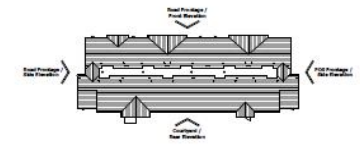


Road Frontage / Side Elevation  
1 : 100



POS Frontage / Side Elevation  
1 : 100

- Architectural Key**
- Red Brickwork - 1st, 2nd, 3rd Fls
  - Dark Grey Brickwork - 1st, 2nd Fls
  - Red Tile - 1st, 2nd Fls
  - White & Red Brickwork - 1st Fl
  - Green - Ground Floor (1st Fl)
  - Red Brickwork - 1st Fl
  - White & Red Brickwork - 1st Fl
  - Red & White - 1st Fl



Key Plan  
1 : 500

PL	Planning
Hough Top, Pudsey, Leeds	
Apartment Elevations	
Location: Hough Top, Pudsey, Leeds	
Client: Leeds City Council + Willmott Dixon	
HOUG-WBA-AB-ZZ-DR-A-0210	P3
Date: 21/03/22	Drawn: EJ
Checked: 09/04/22	As indicated
<b>WATSON BATTY ARCHITECTS</b> Shiner House, Shiner Road, Guiseley, Leeds LS20 8EU, Loughborough T: 01453 876 665 E: enquiries@watsonbatty.com W: www.watsonbatty.com	
	





View looking East down Hough Top showing the main site entrance and the retained existing tree / landscaping buffer. Plot 7 provides a focal point and overlooking on to Hough Top with gable windows.



Typical View of the Apartment Block

Images are intended for illustrative purposes only

P3	24.10.23	AB	RD	Windows updated
P2	23.10.23	AB	RD	Drawing updated for planning
P1	20.10.23	AM	RD	Preliminary Issues

Rev	Date	Drawn	Checked	Description
PL				Planning

Hough Top, Pudsey, Leeds

Proposed Site Visuals

Location:  
Hough Top,  
Pudsey,  
Leeds  
Client:  
Leeds City Council + Willmott Dixon

Drawn	Updated	Drawn	Level	Type	Scale	Author/Revision	Revision
10/20/23	AM	RD			B/A2		P3
Date: 10/20/23							3998-004

WATSON BATTY ARCHITECTS

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E: enquiries@watsonbatty.com  
W: www.watsonbatty.com



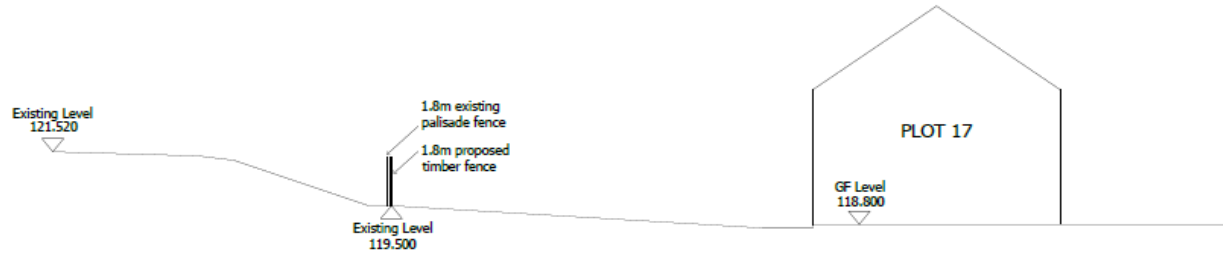
FUTURE BUILT



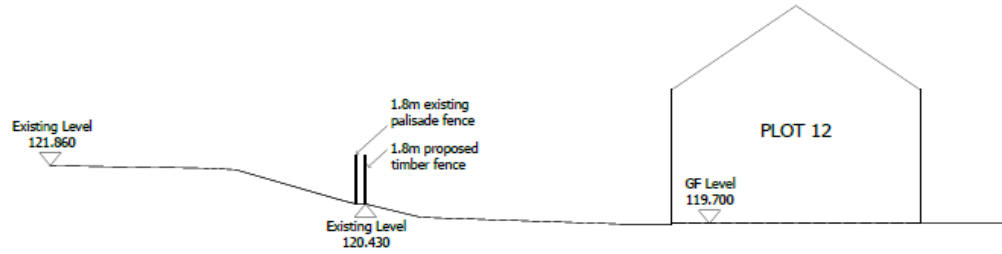
Typical Street Scene



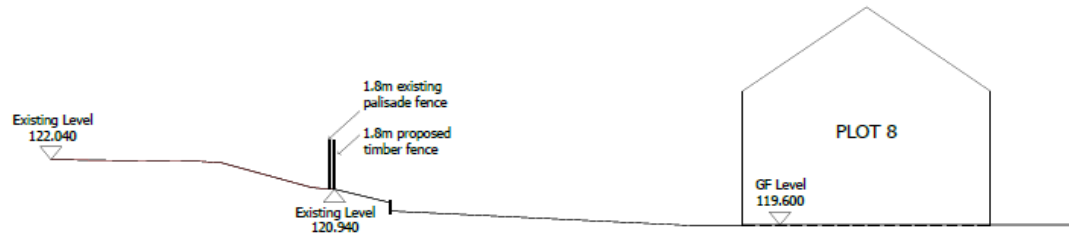
Typical Street Scene



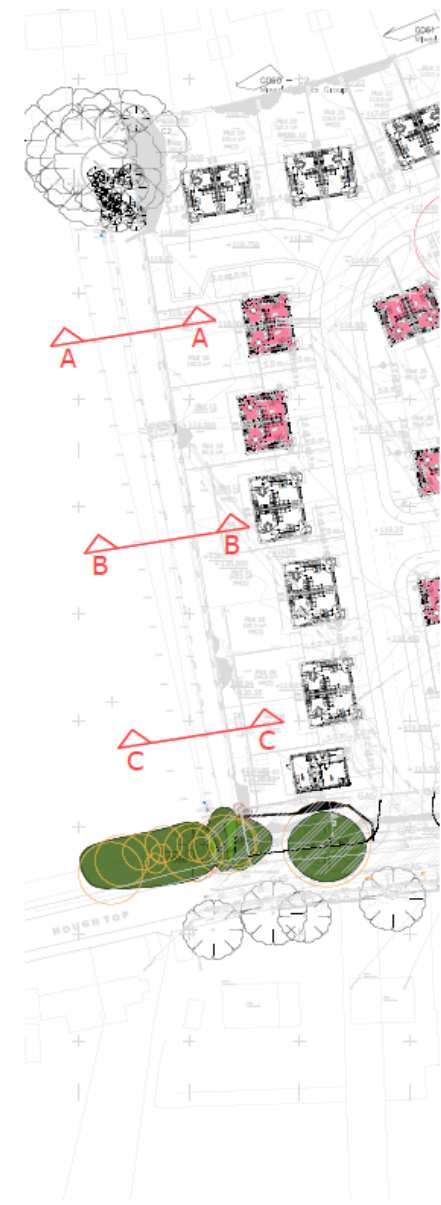
1:100 SECTION A-A



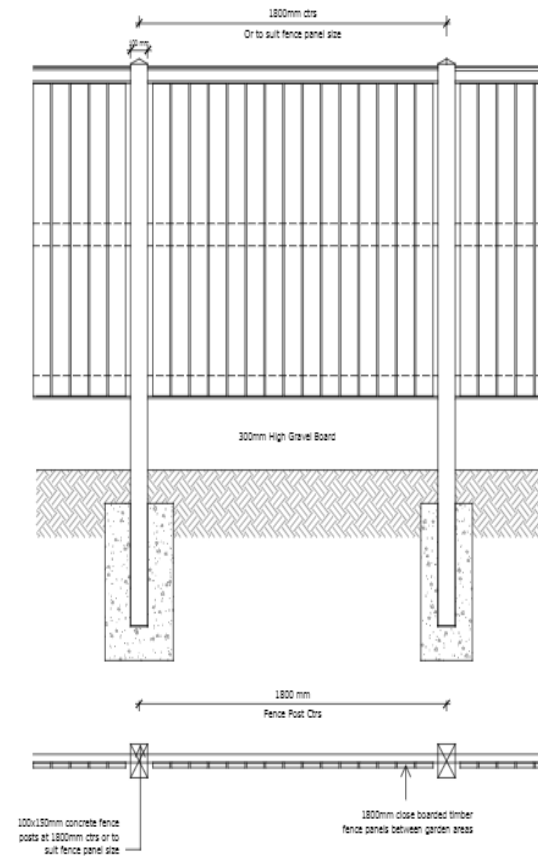
1:100 SECTION B-B



1:100 SECTION C-C







1.8m Close Boarded Timber Fence

# Biodiversity impacts:



ECN22 042 Hough Top Court Biodiversity Statement

## 8.3 Assessment of Change

Tables 4 and 5 show the overall change in biodiversity units resulting from the proposed development.

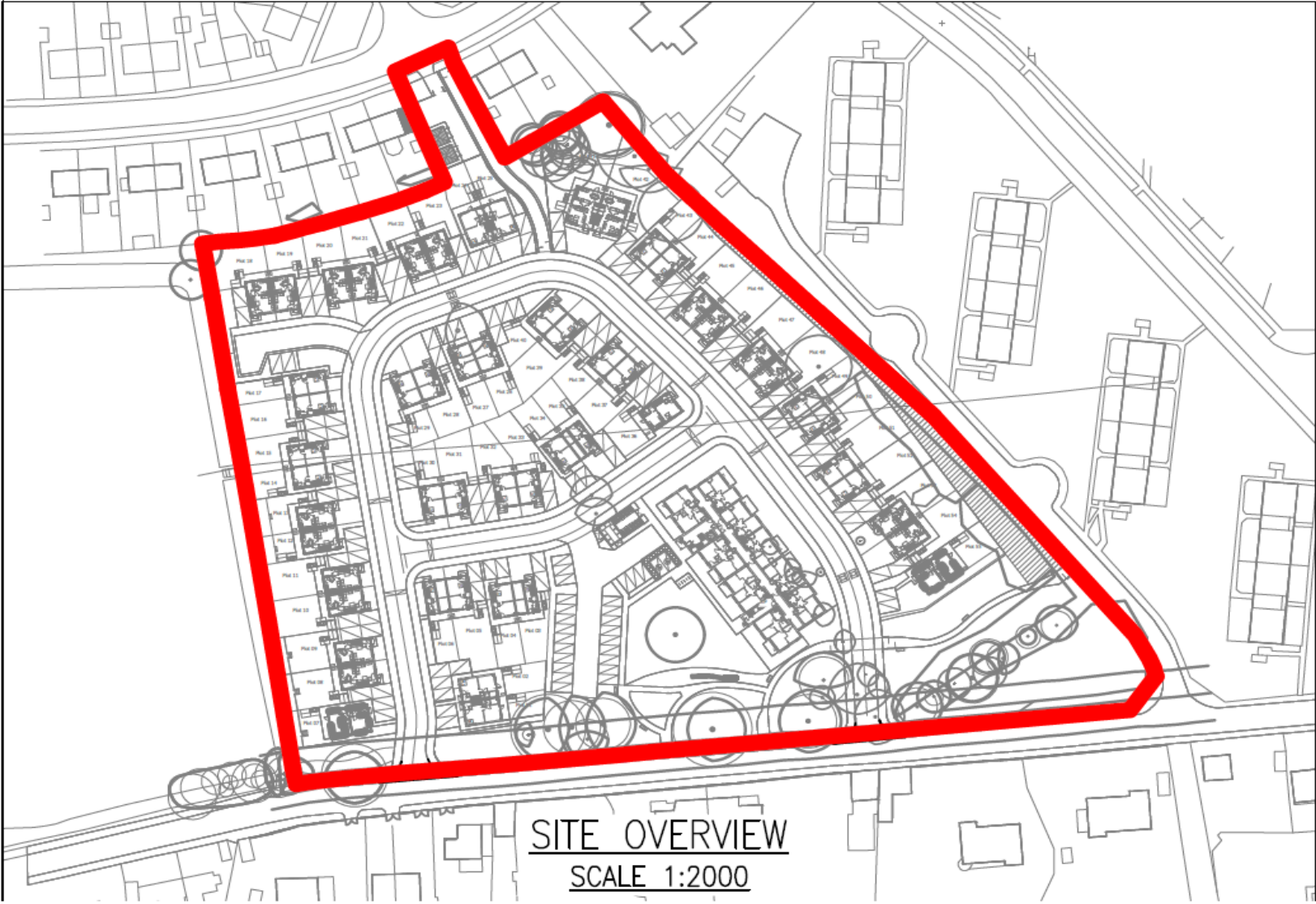
**Table 4: Overall Change in Biodiversity Units based on Landscape Plan**

Biodiversity Units Pre-Works (a)	Biodiversity Units Post-Works (b)	Change in Biodiversity Units (a – b)
20.22	15.89	-4.33

**Table 5: Overall Changes in Hedgerow Units based on Landscape Plan**

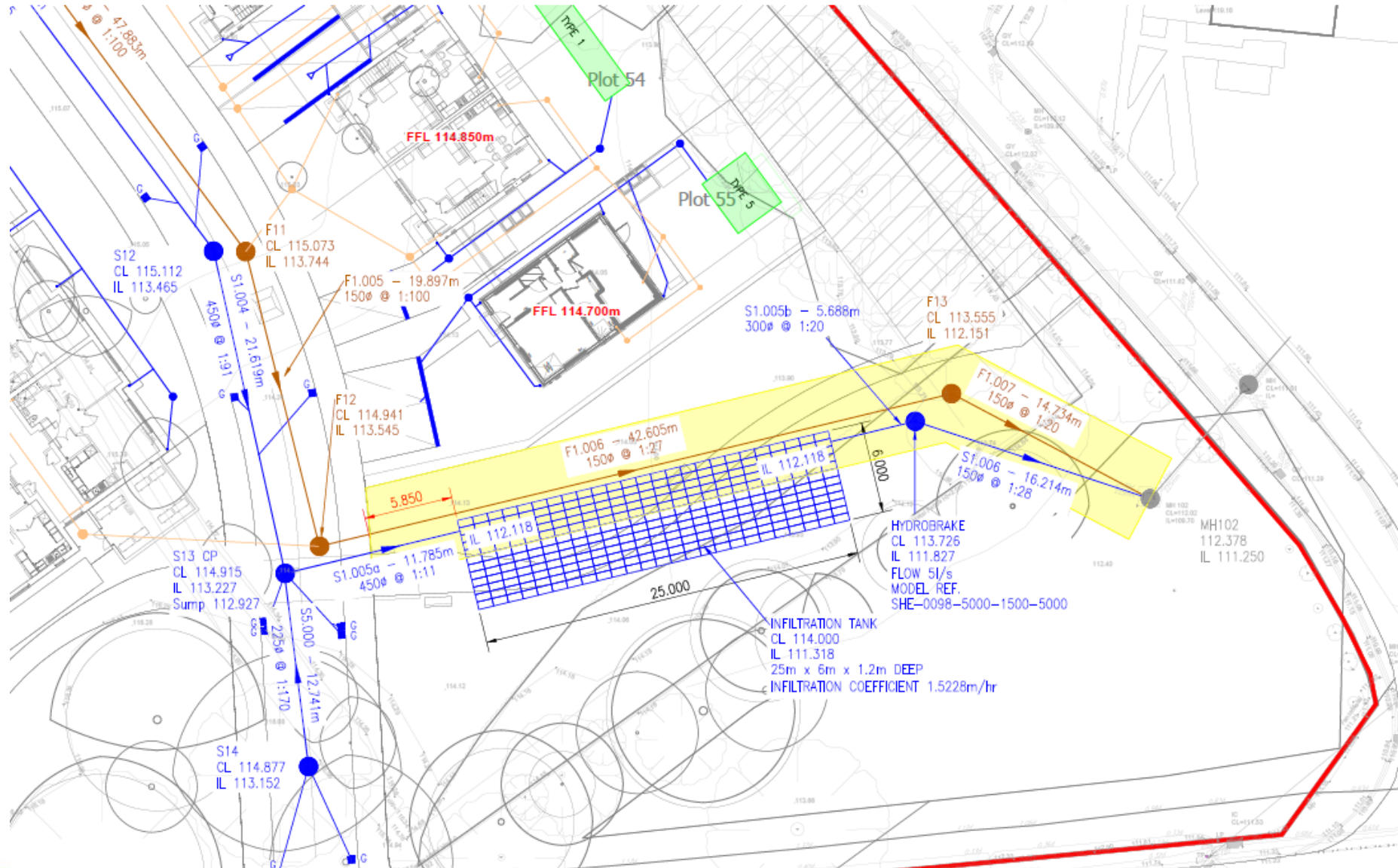
Biodiversity Units Pre-Works (a)	Biodiversity Units Post-Works (b)	Change in Biodiversity Units (a – b)
0.45	0.36	-0.09

# Highways



SITE OVERVIEW  
SCALE 1:2000

# Drainage - S38 Highways objection



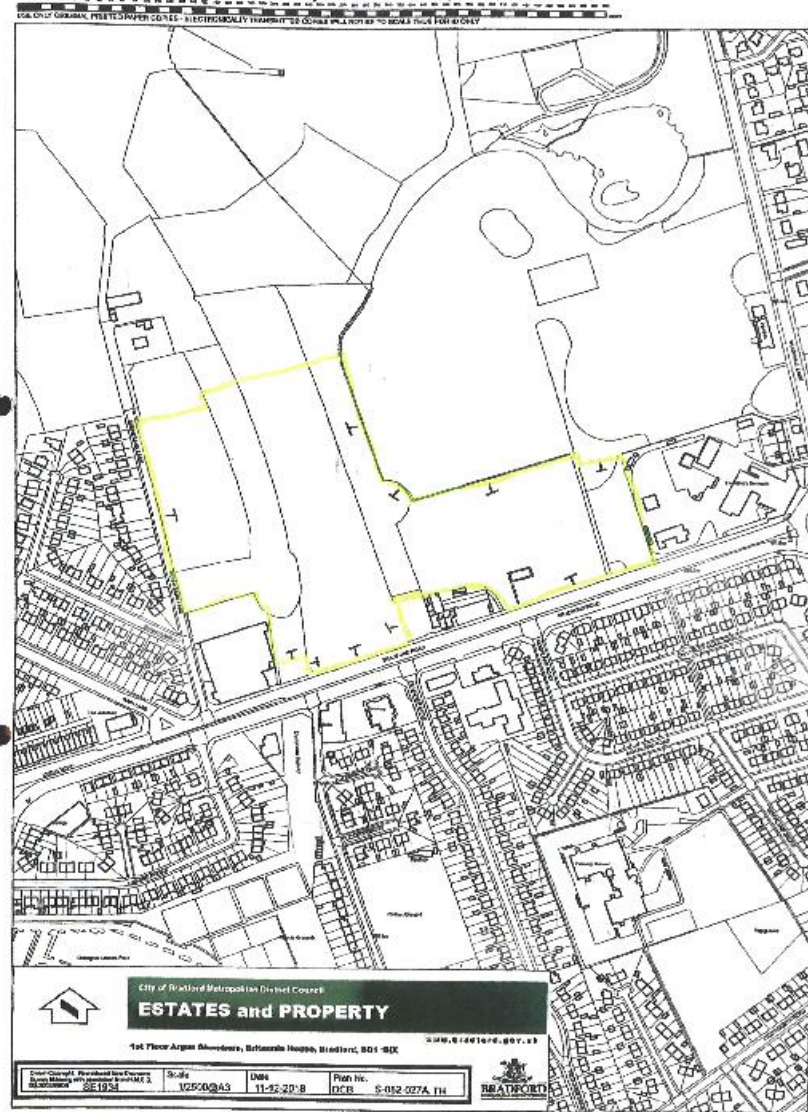
# ADDRESS

## Sunny Bank Village Green

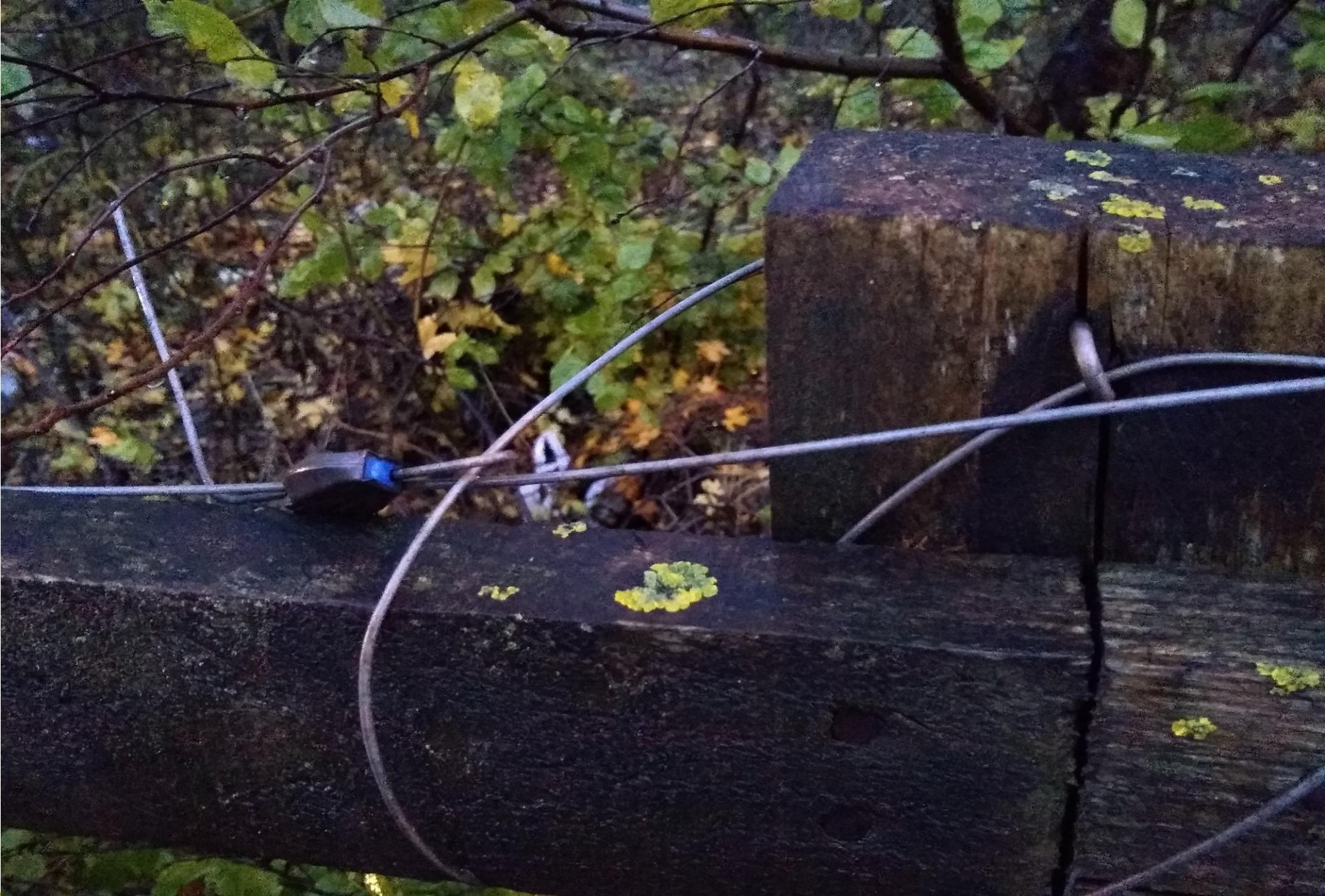
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MAP: EXHIBIT (A)

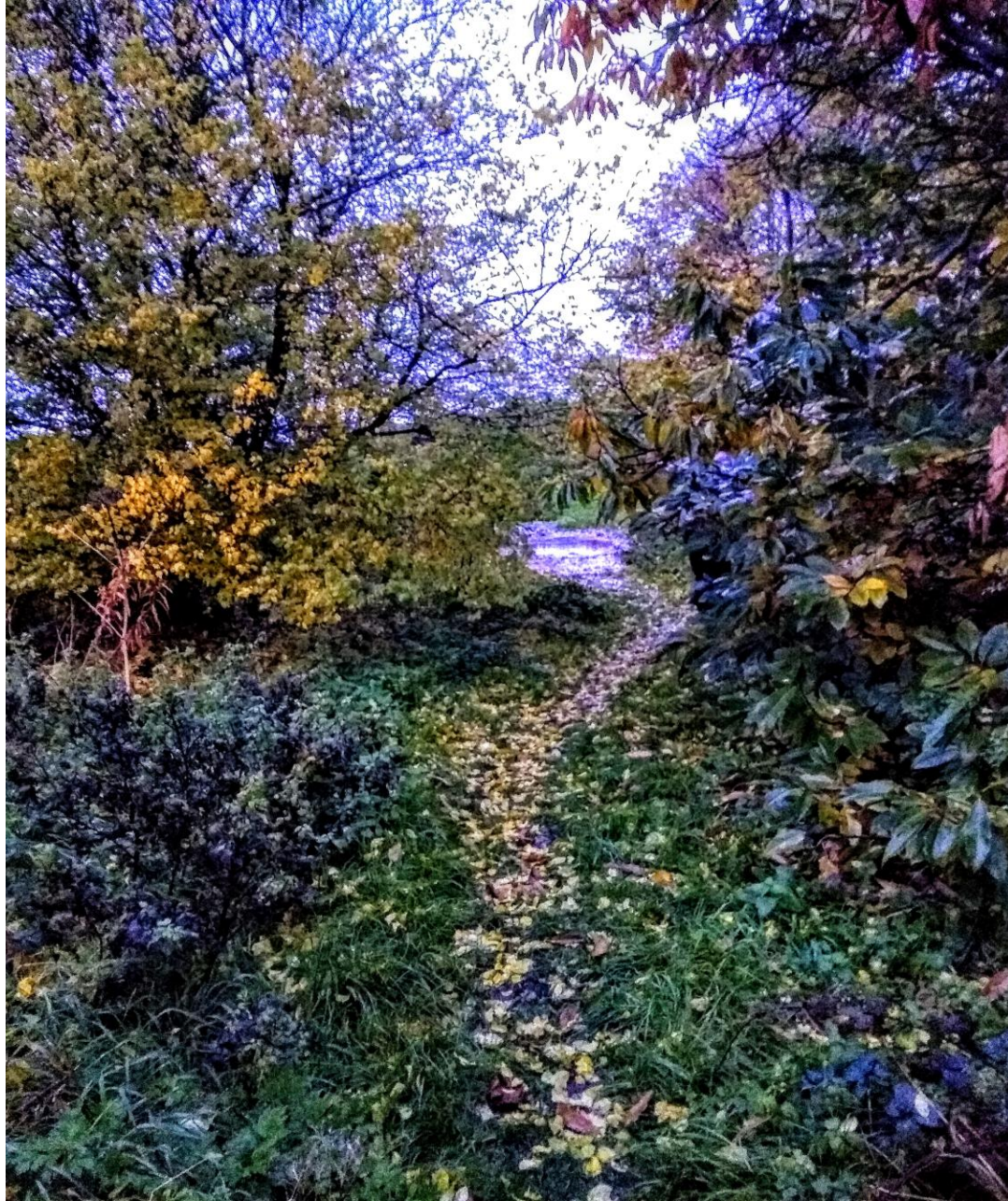


















# SOUTH & WEST PLANS PANEL **END OF PRESENTATION**

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